

HISTORIC PRESERVATION COMMISSION MEETING AGENDA

Wednesday, August 9, 2023 at 6:00 PM

City Hall Council Chambers, 35 Cabarrus Avenue West

1. CALL TO ORDER - *Chair*
2. ORDER OF BUSINESS - *Chair (Ask Staff if there are any adjustments to agenda)*
3. INTRODUCTIONS - *Chair and Commissioners (give your name for the record)*
4. APPROVAL OF MINUTES - *Motion, second, and vote needed.*
5. SWEARING IN OF WITNESSES - *Chair*
6. OLD BUSINESS - *Chair*
7. NEW BUSINESS

H-05-23 (Quasi-Judicial Hearing)

Steven Bullock has submitted a Certificate of Appropriateness application for modifications including, but not limited to, the removal of siding and windows, and the addition of a door at 39 Franklin Ave NW. PIN 5620-78-5846.

- a. Open Public Hearing by Motion - *Motion, second, and vote needed.*
- b. Staff Presentation
- c. Applicant's Testimony
- d. Other Testimony
- e. Close Public Hearing by Motion - *Motion, second, and vote needed.*
- f. Approve Findings of Fact by Motion - *Motion, second, and vote needed.*
- g. Approve Conclusions of Law by Motion - *Motion, second, and vote needed.*
- h. Approve/Deny Conditions and Permit by Motion - *Motion, second, and vote needed.*

H-15-23 (Quasi-Judicial Hearing)

Doobay Sangster has submitted a Certificate of Appropriateness application for modifications including, but not limited to, paving a driveway, replacing a walkway, installing a fence, and replacement of existing shed with a garage at 71 Franklin Ave NW. PIN 5620-78-2479.

- a. Open Public Hearing by Motion - *Motion, second, and vote needed.*
- b. Staff Presentation
- c. Applicant's Testimony
- d. Other Testimony
- e. Close Public Hearing by Motion - *Motion, second, and vote needed.*
- f. Approve Findings of Fact by Motion - *Motion, second, and vote needed.*
- g. Approve Conclusions of Law by Motion - *Motion, second, and vote needed.*
- h. Approve/Deny Conditions and Permit by Motion - *Motion, second, and vote needed.*

H-16-23 (Quasi-Judicial Hearing)

John and Amy Treat have submitted a Certificate of Appropriateness application for installation of an in-ground swimming pool at 36 Georgia St NW. PIN 5620-77-5532.

- a. Open Public Hearing by Motion - *Motion, second, and vote needed.*
- b. Staff Presentation
- c. Applicant's Testimony
- d. Other Testimony

- e. Close Public Hearing by Motion - *Motion, second, and vote needed.*
- f. Approve Findings of Fact by Motion - *Motion, second, and vote needed.*
- g. Approve Conclusions of Law by Motion - *Motion, second, and vote needed.*
- h. Approve/Deny Conditions and Permit by Motion - *Motion, second, and vote needed.*

H-17-23 (Quasi-Judicial Hearing)

Chris Harris and Jim Firth have submitted a Certificate of Appropriateness application for the addition of a metal roof on the front porch at 359 Union St S. PIN 5630-14-5710.

- a. Open Public Hearing by Motion - *Motion, second, and vote needed.*
- b. Staff Presentation
- c. Applicant's Testimony
- d. Other Testimony
- e. Close Public Hearing by Motion - *Motion, second, and vote needed.*
- f. Approve Findings of Fact by Motion - *Motion, second, and vote needed.*
- g. Approve Conclusions of Law by Motion - *Motion, second, and vote needed.*
- h. Approve/Deny Conditions and Permit by Motion - *Motion, second, and vote needed.*

H-19-23 (Quasi-Judicial Hearing)

Karan Bullard Banks has submitted a Certificate of Appropriateness application for the installation of a retaining wall along the driveway at 438 Union St S. PIN 5630-13-9943.

- a. Open Public Hearing by Motion - *Motion, second, and vote needed.*
- b. Staff Presentation
- c. Applicant's Testimony
- d. Other Testimony
- e. Close Public Hearing by Motion - *Motion, second, and vote needed.*
- f. Approve Findings of Fact by Motion - *Motion, second, and vote needed.*
- g. Approve Conclusions of Law by Motion - *Motion, second, and vote needed.*
- h. Approve/Deny Conditions and Permit by Motion - *Motion, second, and vote needed.*

STAFF UPDATES/DISCUSSIONS

Handbook Updates

- a. Discuss Committee's Progress

8. ADJOURNMENT

In accordance with ADA Regulations, please note that anyone who needs an accommodation to participate in the meeting should notify Planning & Neighborhood Development Department at 704/920-5152 at least twenty-four (24) hours prior to the meeting.

<u>DATE</u>	August 9, 2023
<u>SUBJECT</u>	
<u>Certificate of Appropriateness Request:</u>	H-05-23
<u>Applicant:</u>	Steven Bullock
<u>Location of subject property:</u>	39 Franklin Ave NW
<u>PIN:</u>	5620-78-5846
<u>Staff Report prepared by:</u>	Autumn C. James, Planning & Development Manager

BACKGROUND

- The subject property Daniel Rufus Hoover House, 39 Franklin Ave. NW (ca. 1895), is designated as a “Contributing” structure in the North Union Street Historic District (Exhibit A).
- “Two-story, frame Queen Anne style house with handsome Colonial Revival porch that may be replacement of original. House has asymmetrical form with gables projecting to front and sides from main hip roof. The narrow widths of the gable-roofed projections in relation to their height, and the nearly pyramidal peak of the main roof, give the house a pronounced vertical emphasis. The projecting gable at the front of the house has cut-away corners trimmed with sunburst brackets. The porch occupies the east (left) side of the first-floor facade and has a low pediment supported by Tuscan columns grouped in threes. On the west side of the first-floor façade is a sunroom that may have been part of the original porch. (Exhibit A).

DISCUSSION

On February 21, 2023, Steven Bullock, applied for a Certificate of Appropriateness under Concord Development Ordinance (CDO) §9.8 for modifications including, but not limited to, the removal of siding, windows, and the addition of a door at 39 Franklin Ave NW (Exhibit B).

The applicant has proposed to seal the side door opening using wood clapboard identical to the existing wall. The rear section currently with three non-original windows would also be covered with wood clapboard identical to the existing wall. An opening for French doors would be created at the rear of the house, and the applicant is seeking to locate salvaged wooden French doors in keeping with the historic nature of the home. Steps will be added at the base of the proposed French doors using brick that matches the current rear foundation, and wrought iron handrails will be installed for safety. Applicant is also proposing to add light fixtures around the French doors that match the style of the house.

ATTACHMENTS

Exhibit A: National Register of Historic Places Inventory
Exhibit B: Application for Certificate of Appropriateness
Exhibit C: Subject Property Map
Exhibit D: Applicant Submitted Photographs

HISTORIC HANDBOOK DESIGN RECOMMENDATIONS

Chapter 4: Local Standards and General Policies

Alterations: Alterations having no historical basis shall be avoided whenever possible. Any type of alteration of exterior features of a building, site, or environment within the Historic Districts which is not specifically listed within these regulations shall be referred to the Historic Preservation Commission for action on the issuance of a Certificate of Appropriateness.

- *All buildings, structures and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.*
- *Changes which may have taken place in the course of time are evidence of the history and development of a building, structure or site and its environment. These changes may have acquired significance in their own right and this significance shall be recognized and respected.*
- *Contemporary design for alterations and additions to existing properties shall be encouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.*
- *New additions or alterations shall be construed in such a manner as to preserve the essential form and integrity of the structure, should the addition or alteration be removed.*

Approval Requirement Needs Table: Siding

Alteration of siding from one material to another (shingles to clapboard etc.), applications of any simulated materials, aluminum siding, plastic siding, etc. requires Commission Hearing and Approval.

Approval Requirement Needs Table: Siding Removal

Removal of siding to be replaced with another material (shingles to clapboard etc.) requires Commission Hearing and Approval.

Chapter 5 – Section 4: Siding and Exterior Materials

- *There are a variety of materials available for use on the exterior of both existing structures and for new construction. Wood siding is the predominate exterior material within the Historic Districts, although some structures have masonry. The most common type of wood siding is clapboard*

Design Guidelines and Recommendations

- *In the replacement of wood siding, materials should match the original as closely as possible.*

Approval Requirement Needs Table: Windows

Replacement/changes in window design including removal of original windows, window components, and changes in the window openings require Commission Hearing and Approval.

Approval Requirement Needs Table: Doors

Replacement of original doors, changes in door openings, stained glass panels, and/or security grills or bars requires Commission Hearing and Approval.

Chapter 5 – Section 5: Fenestrations

- *New doors should be compatible with the period and style of the structure.*
- *New openings (window or door) should be located in areas where they are not visible from the street or in areas where they are compatible with the original design*

Design Guidelines and Recommendations

- *Use doors that are appropriate for the style of building while avoiding flat-surfaced doors, those with small decorative glass panels, and pre-finished window/side lite art glass units.*

Approval Requirement Needs Table: Stairs or Steps

Removal, addition or alteration of external stairs or steps requires Commission Hearing and Approval.

Chapter 5 – Section 6: Stairs or Steps

- *Original steps should be retained and handrails should match the railing on the porch.*
- *To the greatest extent possible, stairs and fire escapes should be located where they are not visible from the street.*

Approval Requirement Needs Table: Lighting

Removal or alteration of significant architectural fixtures or additions of permanent, general illumination fixtures within public view requires Commission Hearing and Approval.

Chapter 5 – Section 11: Lighting and Transformers

- *Residential lighting is historically minimal. Therefore, minor usage of low level landscape lighting added at ground level, with fixtures not visible from the street, that do not shine upon the building façade are appropriate.*

Design Guidelines and Recommendations

- *Maintain subtle effects with selective spots of light rather than indiscriminate area lighting.*
- *Do not concentrate light on facades and avoid casting light on surrounding properties.*
- *Do not use fixtures which are incompatible with existing details, styles, etc.*

RECOMMENDATION

1. The Historic Preservation Commission should consider the circumstances of this application for a Certificate of Appropriateness relative to the North and South Union Street Historic Districts Handbook and act accordingly.
2. If approved, applicant(s) should be informed of the following:
 - City staff and Commission will make periodic on-site visits to ensure the project is completed as approved.
 - Completed project will be photographed to update the historic properties survey.

United States Department of the Interior
National Park Service

National Register of Historic Places
Inventory—Nomination Form

For NPS use only

received

date entered

Continuation sheet

Item number

Page

Inventory List - North Union Street
Historic District, Concord

#7

48

83. Daniel Rufus Hoover House
39 Franklin Avenue, N.W.
ca. 1895 (O1)
C

Two-story, frame Queen Anne style house with handsome Colonial Revival porch that may be replacement of original. House has asymmetrical form with gables projecting to front and sides from main hip roof. The narrow widths of the gable-roofed projections in relation to their height, and the nearly pyramidal peak of the main roof, give the house a pronounced vertical emphasis. The projecting gable at the front of the house has cut-away corners trimmed with sunburst brackets. The porch occupies the east (left) side of the first floor facade and has a low pediment supported by Tuscan columns grouped in threes. On the west side of the first floor facade is a sunroom that may have been part of the original porch.

Daniel Rufus Hoover (d. 1912) operated a cotton buying business and general store with George Monroe Lore (see #145) during the 1870-1890 period.

84. House
31 Franklin Avenue, N.W.
ca. 1895
C

Two-story, frame house with unusual roofline consisting of triple-A front forward of main hip roof. The decorative center gable and the nearly pyramidal peak of the hip roof give the house a strong vertical emphasis. House has full facade porch with Tuscan columns and balustrade, and tall 2/2 sash windows.

85. Allison-White House
25 Franklin Avenue, N.W.
ca. 1894 (IO)
C

Two-story, frame house with handsome porch combining Italianate and Queen Anne style elements. Facade composed of front and side gables projecting from main hip roof. Porch has turned posts, scroll-like brackets, and sawn frieze with pendant drops. Balustrade has vertical, horizontal, and diagonal elements. House has paired, tall, and narrow 1/1 sash windows.

AN INCOMPLETE APPLICATION WILL NOT BE PLACED ON THE AGENDA UNTIL ALL OF THE REQUIRED ATTACHMENTS AND/OR ITEMS LISTED ON PAGE 2 ARE SUBMITTED.

APPLICANT INFORMATION

Name: Steven Bullock _____
Address: 39 Franklin Ave NW _____
City: Concord _____ State: NC _____ Zip Code: 28025 _____ Telephone: 541.912.4118 _____
Email: james.steven.bullock@gmail.com _____

OWNER INFORMATION

Name: James Steven Bullock _____
Address: 39 Franklin Ave NW _____
City: Concord _____ State: NC _____ Zip Code: 28025 _____ Telephone: 541.912.4118 _____
Email: james.steven.bullock@gmail.com _____

SUBJECT PROPERTY

Street Address: 39 Franklin Ave NW _____ P.I.N. # 5620 78 5846 0000 _____
Area (acres or square feet): ~ .29 acres _____ Current Zoning: RM-1 _____ Land Use: Single-family housing _____

**Staff Use
Only:**

Application Received by: _____ Date: _____, 20____
Fee: \$20.00 Received by: _____ Date: _____, 20____

The application fee is nonrefundable.

General Requirements

The Unified Development Ordinance imposes the following rules, regulations and requirements on requests for Certificates of Appropriateness. The applicant must, with reference to the attached plans, demonstrate how the proposed use satisfies these requirements:

1. Project or Type of Work to be Done: Remove side entry door from non-original section of wall and seal off that area. Remove non-original windows and add French doors for rear entry
2. Detailed specifications of the project (type of siding, windows, doors, height/style of fence, color, etc.):
The side door opening would be sealed using wood clapboard that is identical to the rest of the wall. The section currently occupied by three non-original windows would also be covered over with wood clapboard that is identical to the rest of the wall. An opening for French doors would be created. Our hope is to find salvaged wooden French doors in keeping with the historic nature of the home. Steps will be added using brick that matches the current rear foundation. Wrought iron handrails will be added for safety. We will add rear lighting fixtures that match the style of the house.

List of Materials

- Wood clapboard siding
- Matching brick
- Vintage/salvaged French doors
- Wrought iron handrails
- Style appropriate light fixtures

**Required Attachments/
Submittals**

1. Scaled site plan, if additions or accessory structures are proposed, on letter, legal or ledger paper. Larger sized copies will be accepted if **16 folded copies** are submitted for distribution.
2. A photograph of the front of the house.
3. Photographs of site, project, or existing structures from a “before” perspective.
4. Drawings, sketches, renderings, elevations, or photographs necessary to present an illustration of the project from an “after” perspective.
5. Samples of windows, doors, brick, siding, etc., may be submitted with application.
6. Detailed list of materials that will be used to complete the project.

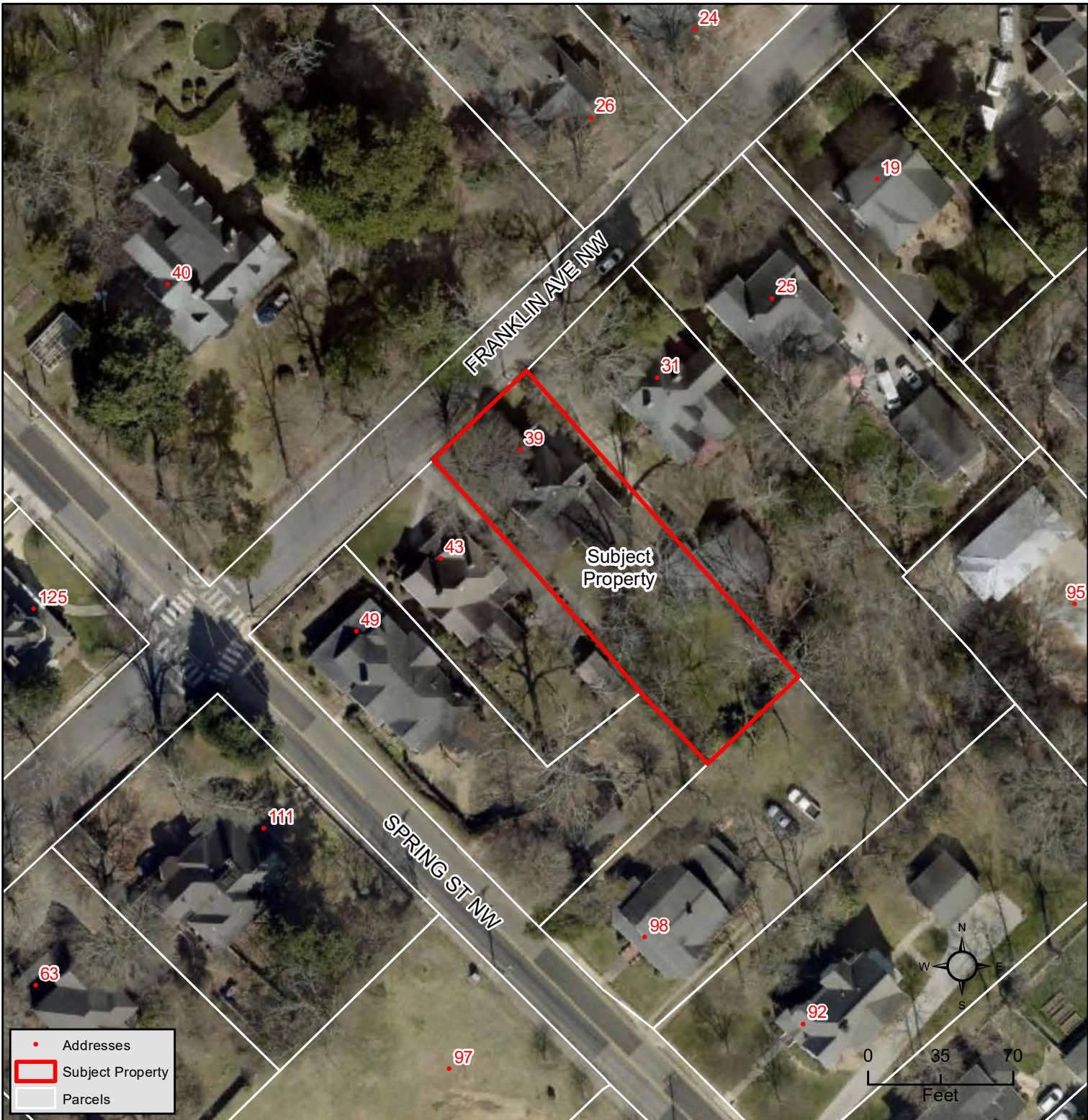
****Applications may be submitted electronically.****

Certification

(1) I hereby acknowledge and say that the information contained herein and herewith is true and that this application shall not be scheduled for official consideration until all of the required contents are submitted in proper form to the City of Concord Development Services Department. (2) I understand that City staff and/or members of the Historic Preservation Commission may make routine visits to the site to insure that work being done is the same as the work that was approved. (3) I understand that photographs of the completed project will be made to update the City’s historic districts inventory database.

2/21/23
Date

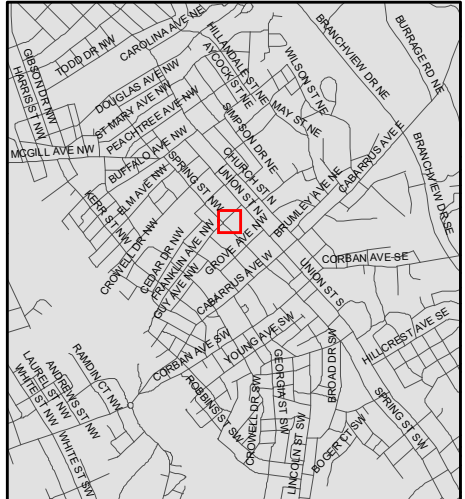

Signature of Owner/Agent



H-05-23

39 Franklin Ave NW

PIN: 5620-78-5846



Source: City of Concord
Planning Department

Disclaimer

These maps and products are designed for general reference only and data contained herein is subject to change. The City Of Concord, it's employees or agents make no warranty of merchantability or fitness for any purpose, expressed or implied, and assume no legal responsibility for the information contained therein. Data used is from multiple sources with various scales and accuracy. Additional research such as field surveys may be necessary to determine actual conditions.



original addition (possibly 1980's)

<u>DATE</u>	August 9, 2023
<u>SUBJECT</u>	
<u>Certificate of Appropriateness Request:</u>	H-15-23
<u>Applicant:</u>	Doobay Sangster
<u>Location of subject property:</u>	71 Franklin Ave NW
<u>PIN:</u>	5620-78-2479
<u>Staff Report prepared by:</u>	Autumn C. James, Planning & Development Manager

BACKGROUND

- The subject property, 71 Franklin Ave. NW, is designated as a “Pivotal” structure in the North Union Street Historic District (Exhibit A).
- “Highly distinctive, two-story frame Queen Anne style residence. Unusual facade composed of two gables with flush board panels and small, single pane windows flanking a recessed balcony. Balcony is adorned with semi-circular spindle frieze. Full facade porch retains charming canvas awning and turned posts, sawn brackets, and a spindle frieze; Centrally placed, pedimented attic dormer. Unusual second story flat-roofed sunroom at rear of house. One-story frame servants' quarters with hip roof, one of a handful of early outbuildings in the district, stands at the rear of the property.” (Exhibit A).

DISCUSSION

On June 21, 2023, Doobay Sangster, applied for a Certificate of Appropriateness under Concord Development Ordinance (CDO) §9.8 for modifications including, but not limited to, paving a driveway, replacing a walkway, installing a fence, and replacement of existing shed with a garage (Exhibit B).

As proposed, the fence will be approximately 18 - 24 inches of brick and 18-24 inches of metal and will extend along the front of the house to the side/halfway point of the house. The remainder of the property will have a 6’ natural wood privacy fence. The section of the fence in front of the house will not exceed 4’ in height. The proposed 1127 sq. ft. four car garage will have the same footprint of the existing shed, with siding to match the existing home (5/8 x5.5 inch wood siding).

ATTACHMENTS

Exhibit A: National Register of Historic Places Inventory
Exhibit B: Application for Certificate of Appropriateness
Exhibit C: Subject Property Map
Exhibit D: Site Plan

HISTORIC HANDBOOK DESIGN RECOMMENDATIONS

Chapter 4: Local Standards and General Policies

Alterations: Alterations having no historical basis shall be avoided whenever possible. Any type of alteration of exterior features of a building, site, or environment within the Historic Districts which is not specifically listed within these regulations shall be referred to the Historic Preservation Commission for action on the issuance of a Certificate of Appropriateness.

- *All buildings, structures and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.*

- *Changes which may have taken place in the course of time are evidence of the history and development of a building, structure or site and its environment. These changes may have acquired significance in their own right and this significance shall be recognized and respected.*
- *Contemporary design for alterations and additions to existing properties shall be encouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.*
- *New additions or alterations shall be construed in such a manner as to preserve the essential form and integrity of the structure, should the addition or alteration be removed.*

Approval Requirement Needs Table: Accessory Buildings

New construction, demolition, and moving of accessory buildings requires Commission Hearing and Approval.

Approval Requirement Needs Table: Fencing and Gates

All types of fences and gates require Commission Hearing and Approval.

Approval Requirement Needs Table: Patios, Walks, and Driveways

All new patios, walks, and driveways require Commission Hearing and Approval.

Chapter 5 – Section 3: New Accessory Structure Construction

- *Through their siting and relationship to the houses, the streets, and the alleys, the accessory buildings contribute to the historic character of the district as well.*
- *Early garages were typically single-bay structures located in the rear yard at the end of the driveway. Early storage buildings and sheds were usually small frame structures sited toward the back of the rear yard and were generally not visible from the street.*

Design Guidelines and Recommendations

- *If replacement of an element or a detail is necessary, replace only the deteriorated item to match the original in size, scale, proportion, material, texture, and detail.*
- *Keep the proportion of new garages and accessory structures compatible with the proportion of the main house. Typically these buildings were smaller in scale than the main house.*
- *New garages and accessory structures must use traditional roof forms, materials, and details compatible with the main building or historic accessory structures in the district.*
- *Locate new garages and accessory structures in rear yards and in traditional relationship to the main buildings.*
- *All accessory structures shall remain detached from the main building.*
- *Accessory buildings for Pivotal and Contributing structures should complement the siding and roof material of the primary structure.*

Chapter 5 – Section 9: Fences and Walls

- *All wooden fences should be “stick-built” on site.*
- *Wooden fences visible from the street and/or wooden fences in front yards and side yards of corner lots are required to be painted or stained white or a color matching the body or trim of the structure, including shutters, foundation color, etc.*
- *Painting or staining is recommended, but not required, for rear yard fences unless they are visible from the street.*

- *Front yard fences should not exceed four feet in height. Wooden fences should be painted or stained white or a color matching the body or trim of the structure, including shutters, foundation color, etc.*
- *Rear yard fences are defined as fences, which do not extend forward on the applicant's property beyond the side centerline of the house in plain view. Approval of the location may also be handled on a case-by-case basis to determine the best natural break in the rear and front yards for placement of fences.*
- *Rear yard fences may be higher than four feet.*
- *Privacy fences are defined as fences with no spacing between pickets or fences of the shadowbox design. Privacy fences may be allowed at the discretion of the Commission in the following circumstances:*
 - *1. Privacy fences are most appropriate in rear yards.*
 - *2. Privacy fences may be allowed where the applicant's rear yard is directly adjacent to property that is either not in a historic district, or is within a historic district but is non-contributing or intrusive in that district. The applicant shall show to the satisfaction of the Commission:*
 - *(a) that the adjacent property is unsightly in comparison to other properties surrounding the applicant's property,*
 - *(b) that the adjacent property or nearby property raises reasonable security concerns for the applicant, or*
 - *(c) that the adjacent property could reasonably be determined to negatively impact the property value of the applicant's property.*
 - *Privacy fences shall be allowed only on the applicant's property line directly adjoining the aforesaid adjacent property unless the Commission feels that such a partial privacy fence would not be visually appropriate or would not accomplish the purpose(s) of the privacy fence set forth above.*
 - *3. Privacy fences encompassing an area of no more than 250 square feet may be allowed at the discretion of the Commission when adjacent to the applicant's house, garage, or other outbuilding in order to screen from view trash cans, mechanical equipment, cars or other unsightly items, provided such fence does not unreasonably impact any neighbor by blocking windows or the like.*
- *Privacy fences allowed by the Commission should be landscaped where practical with appropriate shrubbery to soften the appearance of the fence.*

Design Guidelines and Recommendations

- *Do not use high walls or fences to screen front yards.*
- *Use materials such as natural stone, brick, wood, powder coated aluminum and iron.*
- *Materials and style should coordinate with building and neighboring buildings as well as other walls and fences in the area.*

Chapter 5 – Section 10: Driveways, Walkways, and Parking

- *Gravel and pavement are acceptable materials for driveways, as are some alternative materials such as cobblestone, brick, and pervious pavers.*
- *New walkways should consist of appropriate natural material including gravel, concrete, stone, brick or pervious pavers.*

Design Guidelines and Recommendations

- *Parking areas should not be the focal point of the property, and should be located in such a manner as to minimize their visibility from the street.*
- *Trees should be planted or retained in order to maintain the tree canopy and to minimize the focus of the parking areas.*
- *Excessive expanses of paving should be avoided.*
- *Use vegetation screen or berms to reduce reflection and visual confusion. Within residential areas, integrate parking areas into landscaping and surface with the appropriate materials such as concrete, brick, crushed stone or gravel. In general, asphalt should only be used for areas not visible from the street; its use will be considered on a case by case basis by the Historic Preservation Commission.*

RECOMMENDATION

1. The Historic Preservation Commission should consider the circumstances of this application for a Certificate of Appropriateness relative to the North and South Union Street Historic Districts Handbook and act accordingly.
2. If approved, applicant(s) should be informed of the following:
 - City staff and Commission will make periodic on-site visits to ensure the project is completed as approved.
 - Completed project will be photographed to update the historic properties survey.

United States Department of the Interior
National Park Service

National Register of Historic Places
Inventory—Nomination Form

For NPS use only
received
date entered

Continuation sheet	Item number	Page
Inventory List - North Union Street Historic District, Concord	#7	46

77. House
74 Franklin Avenue, N.W.
ca. 1905
C

One-story, frame cottage, the second of a pair of speculative dwellings said to have been erected by J.L. Hartsell. Originally nearly identical to #76, this cottage underwent some remodeling and enlargement at an undetermined date. Changes include substantial rear addition, replacement of shed-roofed porch with hip-roofed porch, and curbed extension of gable-front facade roof in a manner typical of the English cottage style. House has vinyl siding and ornamental iron porch posts.

78. House
78 Franklin Avenue, N.W.
ca. 1900
C

Two-story, frame, Queen Anne style house with pronounced vertical emphasis created by high, nearly pyramidal roof and narrow, two-bay facade. Facade consists of two gables, one simply an interruption of the main roofline and the other a projecting bay with cut-away corners. Both gables have sawn ornaments with spindlework; the cut-away corners of the projecting gable are trimmed with bowed brackets. The porch is upheld with a combination of turned posts and recently added ornamental iron supports.

79. J. Lee Crowell House
71 Franklin Avenue, N.W.
ca. 1895
P

Highly distinctive, two-story frame Queen Anne style residence. Unusual facade composed of two gables with flush board panels and small, single pane windows flanking a recessed balcony. Balcony is adorned with semi-circular spindle frieze. Full facade porch retains charming canvas awning and turned posts, sawn brackets, and a spindle frieze. Centrally placed, pedimented attice dormer. Unusual second-story flat-roofed sunroom at rear of house. One-story frame servants' quarters with hip roof, one of a handful of early outbuildings in the district, stands at the rear of the property.



AN INCOMPLETE APPLICATION WILL NOT BE PLACED ON THE AGENDA UNTIL ALL OF THE REQUIRED ATTACHMENTS AND/OR ITEMS LISTED ON PAGE 2 ARE SUBMITTED.

APPLICANT INFORMATION

Name: DOOBAY SANGSTER
Address: 71 FRANKLIN AVE NW
City: CONCORD State: NC Zip Code: 28025 Telephone: 980-521-6920

OWNER INFORMATION

Name: D SAME
Address: _____
City: _____ State: _____ Zip Code: _____ Telephone: _____

SUBJECT PROPERTY

Street Address: 71 FRANKLIN AVE NW P.I.N. # _____
Area (acres or square feet): 0.6 Current Zoning: _____ Land Use: _____

**Staff Use
Only:**

Application Received by: _____ Date: _____, 20 _____
Fee: \$20.00 Received by: _____ Date: _____, 20 _____

The application fee is nonrefundable.

General Requirements

The Unified Development Ordinance imposes the following rules, regulations and requirements on requests for Certificates of Appropriateness. The applicant must, with reference to the attached plans, demonstrate how the proposed use satisfies these requirements:

1. Project or Type of Work to be Done: PAVE DRIVEWAY, REMOVE & REPLACE walkway. Install fence and REPLACE EXISTING SHED WITH GARAGE
2. Detailed specifications of the project (type of siding, windows, doors, height/style of fence, color, etc.):
WOOD SIDING TO MATCH WHATS ON HOUSE CURRENTLY -
FRONT FENCE WILL BE BRICK & METAL - 46" HIGH (White & Black)
SIDE FENCE WILL BE 6" WOOD PRIVACY - (Natural)
GARAGE WILL BE SAME FOOTPRINT AS EXISTING BUILDING. Driveway layout is attached in SITE PLAN!

Required Attachments/Submittals

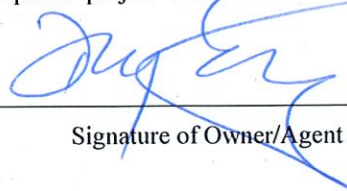
1. Scaled site plan, if additions or accessory structures are proposed, on letter, legal or ledger paper. Larger sized copies will be accepted. **Digital copies are preferred.**
2. Detailed written description of the project.
3. Photographs of site, project, or existing structures from a "before" perspective.
4. Drawings, sketches, renderings, elevations, or photographs necessary to present an illustration of the project from an "after" perspective if applicable.
5. Samples of windows, doors, brick, siding, etc. must be submitted with application.
6. Detailed list of materials that will be used to complete the project.

Certification

(1) I hereby acknowledge and say that the information contained herein and herewith is true and that this application shall not be scheduled for official consideration until all of the required contents are submitted in proper form to the City of Concord Development Services Department. (2) I understand that City staff and/or members of the Historic Preservation Commission may make routine visits to the site to insure that work being done is the same as the work that was approved. (3) I understand that photographs of the completed project will be made to update the City's historic districts inventory database.

06.21.23

Date



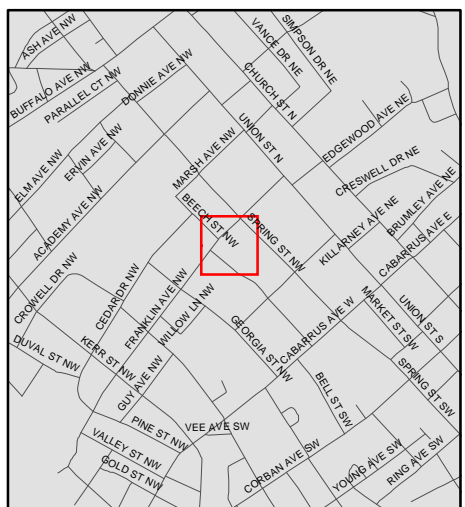
Signature of Owner/Agent



H-15-23

71 Franklin Ave NW

PIN: 5620-78-2479



Source: City of Concord Planning Department

Disclaimer

These maps and products are designed for general reference only and data contained herein is subject to change. The City Of Concord, it's employees or agents make no warranty of merchantability or fitness for any purpose, expressed or implied, and assume no legal responsibility for the information contained therein. Data used is from multiple sources with various scales and accuracy. Additional research such as field surveys may be necessary to determine actual conditions.

Exhibit C

SINGLE FAMILY RESIDENCE- GARAGE ADDITION

71 FRANKLIN ST. CONCORD, NC 28205

SHEET:

T-1

PROJECT NAME:

SANG RESIDENCE

PROJECT OWNER:

- JOHN SANG

PROJECT ADDRESS:

- 71 FRANKLIN ST.
CONCORD, NC. 28205

GOVERNMENT AGENCY:

- 65 CHURCH ST. S.
CONCORD, NC. 28205

SHEET TITLE:

- TITLE SHEET

REV.	DATE	DESCRIPTION	JL												
1	11/11/22	DRAFT PLAN SET REVIEW													

1	PROJECT NOTES	2	SHEET INDEX	4	APPLICABLE CODES
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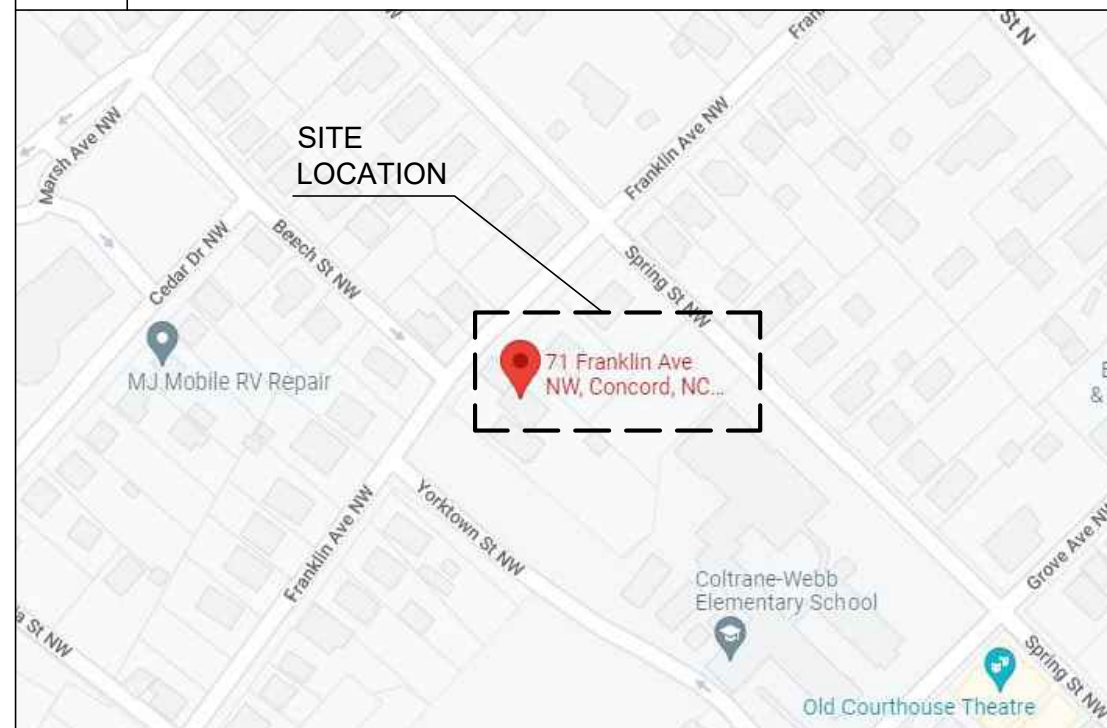
1. THESE DRAWINGS REFLECT LOCAL CITY STANDARDS AS OF CURRENT DATE.
 2. ALL ITEMS SHOWN ARE NEW TO BE PROVIDED & INSTALLED BY G.C. UNLESS NOTED OTHERWISE.
 3. DO NOT SCALE DRAWINGS - WRITTEN DIMENSIONS TAKE PRECEDENT.
 4. CONTRACTOR TO FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO BID AND CONSTRUCTION.
 5. IN CASE OF DISCREPANCIES OR CONFLICTS, NOTIFY DESIGNER/ENGINEER BEFORE PROCEEDING WITH ANY WORK.
 6. THESE DOCUMENTS HAVE BEEN PREPARED EXPRESSLY FOR USE BY THE OWNER OF THE ADDRESS INDICATED ON COVER PAGE AND SOLELY FOR THE PURPOSE OF IMPROVEMENTS TO THE PROPERTY INDICATED AND FOR THE CONSTRUCTION DETAILED IN THESE DRAWINGS AND NOT FOR ANY FUTURE IMPROVEMENTS. ANY ADDITIONAL USE OF THESE DOCUMENTS FOR ANY REASON OTHER THAN THAT MENTIONED ABOVE MUST BE AUTHORIZED IN WRITING BY JOSE LUNA (THE COPYRIGHT HOLDER).
 7. THESE DRAWINGS AS LISTED IN THE DRAWING INDEX ALONG WITH THE SPECIFICATION & CONTRACT FOR CONSTRUCTION CONSTITUTE THE INSTRUMENTS OF SERVICE AND ARE CONSIDERED A SINGLE ENTITY. THE CONTRACTOR IS THEREFOR BOUND BY ALL INFORMATION INCLUDED.
 8. CONTACT BUILDING OWNER FOR COORDINATION OF STAGING AND REFUSE REMOVAL PRIOR TO SIGNING THE CONTRACT FOR CONSTRUCTION.
 9. ALL FLOOR CUTTING, TRENCHING AND OR REMOVAL SHALL BE REPLACED WITH THE SAME MATERIAL IN THE SAME THICKNESS OF THE ADJACENT FLOOR MATERIAL. ADDITIONAL, CONCRETE PATCHING SHALL BE DOWELED INTO THE ADJACENT CONCRETE SLAB TO MINIMIZE DIFFERENTIAL SETTLEMENT OF THE FLOOR SYSTEM.
 10. PRIOR TO ROOF WORK CONSULT OWNER AND VERIFY ANY EXISTING WARRANTY ON EXISTING ROOF AND VERIFY IF ALL NEW WORK SHALL BE PERFORMED BY OWNER'S ROOFER.
 11. PROVIDE TEMPORARY BRACING AND SHORING WITH CONNECTIONS OF SUFFICIENT STRENGTH TO BEAR IMPOSED LOADS, AND TO PROTECT ALL PERSONS AND PROPERTY, AND TO ENSURE PROPER ALIGNMENT. COMPLY WITH ALL STATE, O.S.H.A. AND LOCAL CODES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR PROVIDING ADEQUATE BRACING OF WALLS DURING DEMOLITION AND ERECTION TO PREVENT DAMAGE DUE TO LATERAL LOADS AND CONSTRUCTION IMPACTS. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR DAMAGE DUE TO HIS FAILURE TO TAKE SUCH PRECAUTIONS.
 12. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION & NOTIFY DESIGNER/ENGINEER IN CASE OF DISCREPANCIES BEFORE PROCEEDING.
 13. BY THE ACT OF SUBMITTING A BID, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING TO HAVE ACCEPTED SUCH CONDITIONS AND TO HAVE MADE ALLOWANCES THEREFORE IN PREPARING HIS BID. DEMOLISHED MATERIALS SHALL BECOME THE GENERAL CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM THE SITE WITH FURTHER DISPOSITION AT THE GENERAL CONTRACTOR'S OPTION, EXCEPT FOR ITEMS OR MATERIAL INDICATED TO BE RE-USED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN THE OWNER'S PROPERTY. NO MATERIALS SHALL BE STORED ON PUBLIC PROPERTY UNLESS AN ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
 14. ALL DEBRIS SHALL BE REMOVED FROM THE PREMISES AND WORK AREAS SHALL BE LEFT IN A CLEAN (BROOM) CONDITION DAILY.
 15. MAINTAIN EXISTING UTILITIES WHERE APPLICABLE TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.
 16. ANY DAMAGE BY G.C. OR SUBCONTRACTOR TO EXISTING ASPHALT PAVEMENT AND/OR EXISTING LANDSCAPING SHALL BE REPAIRED AT NO COST TO OWNER.
 17. ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS INCLUDING ADA AND OR OTHER HANDICAP ACCESSIBILITY CODES.
 18. GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER REGARDING SCHEDULING AND SEQUENCING OF THE WORK.
 19. THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
 20. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING ABOVE AND BELOW GRADE, UTILITIES, INCLUDING SANITARY SEWER, STORM SEWER, WATER, GAS, ELECTRICAL, TELEPHONE, ETC. ANY DISCREPANCIES IN UTILITY LOCATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER'S REPRESENTATIVE.
 21. CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING IN WALLS FOR SUPPORT OF ALL EQUIPMENT, SHELVING, ACCESSORIES AND OTHER DEVICES REQUIRED.
 22. ALL WEATHER-EXPOSED SURFACES SHALL HAVE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING. EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF. ALL PENETRATIONS SHALL RECEIVE CALKING TO SEAL ANY TYPE OF ENERGY LOSS.
 23. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL APPLICABLE DIMENSIONS OF FIXTURES AND EQUIPMENT SUPPLIED AND/OR INSTALLED BY OTHERS.
 24. UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS.
 25. ALL MEANS OF EGRESS AND FIRE PROTECTION SHALL BE MAINTAINED AT ALL TIMES AND ANY SHUT DOWN OF LIFE SAFETY OR BUILDING SYSTEMS SHALL BE APPROVED AND COORDINATED IN ADVANCE WITH THE OWNER AND LOCAL BUILDING DEPARTMENT.
 26. ALL DIMENSIONS ARE FROM FACE OF FINISH WALL TO FACE OF FINISH WALL, UNLESS NOTED OTHERWISE.
 27. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL CODES & AMENDMENTS, & ALL OTHER APPLICABLE FEDERAL, STATE, & LOCAL LAWS & ORDINANCES, ACCESSIBILITY CODES, STANDARDS, & REGULATORY AGENCIES.
 28. ALL REFERENCES TO CODES, SPECIFICATIONS & OR DRAWINGS SHALL MEAN THE LATEST EDITION, AMENDMENT OR REVISION OF SUCH REFERENCE IN EFFECT AS OF THE LATEST DATE OF THE CONTRACT DOCUMENTS.
 29. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS, POLICIES, & PROCEDURES OF THE OWNER.
 30. DRAWINGS & SPECIFICATIONS ARE TO BE ISSUED TO THE SUBCONTRACTORS IN COMPLETE SETS SO THAT THE FULL EXTENT OF WORK IS SHOWN & COORDINATION OF WORK IS MADE POSSIBLE.
 31. ALL WORK SHALL BE OF THE HIGHEST QUALITY FOLLOWING THE CONTRACT DOCUMENTS, PROJECT SPECIFICATIONS, MANUFACTURERS SPECIFICATIONS & RECOMMENDATIONS, AND THE BEST ACCEPTED TRADE PRACTICES & STANDARDS.
 32. PERMIT COPY OF PLANS SHALL BE KEPT AT JOB SITE AT ALL TIMES INCLUDING TIME OF INSPECTIONS. ALL WORK IS TO BE PERFORMED FROM FINAL CONTRACT DOCUMENTS ONLY AND A COPY SHALL BE ON JOB SITE WITH PERMIT PLANS.
 33. NOTES, DIMENSIONS AND INDICATIONS ON THE DRAWINGS APPLY TO ALL SIMILAR CONDITIONS WHETHER THEY ARE REPEATED OR NOT.
 34. ALL MATERIALS SHALL BE NEW AND IN FIRST QUALITY AND SHALL BE PROPERLY INSTALLED IN A WORKMAN LIKE MANNER.
 35. EXCAVATE FOR ALL FOOTINGS AND PIERS TO 6" ABOVE BOTTOM OF FOOTINGS AND HAND TRENCH LAST 6" OF EXCAVATION.
 36. DESIGNER/ENGINEER IS NOT RESPONSIBLE FOR ON SITE SUPERVISION OR INSPECTION OF ANY SHORING.
 BRACING, OR WORK-TAKING PLACE UNDER THIS CONTRACT. THE CONTRACTOR AND OWNER SHALL HOLD HARMLESS THE DESIGNER AGAINST LOSS, DAMAGE OR LIABILITY OR EXPENSE ARISING IN ANY MANNER FROM LOSS ASSOCIATED WITH THIS WORK.
 37. ALL PIPES, DUCTS, CONDUITS, ETC. DAMAGED DURING THE CONSTRUCTION ARE TO BE REPAIRED, RESTORED, RELOCATED, OR CAPPED AND/REMOVED AS REQUIRED AND DIRECTED.

GENERAL	TITLE SHEET
T-1	
DESIGN	
1.01	SITE PLAN & CONSTRUCTION PLAN
1.02	EXTERIOR ELEVATIONS
1.03	FENCE EXTERIOR ELEVATIONS
1.04	REFLECTED CEILING / ELECTRICAL PLAN
1.05	FOUNDATION PLAN & CONSTRUCTION DETAILS
1.06	ROOF FRAMING PLAN, CEILING FRAMING PLAN & CONSTRUCTION DETAILS
1.07	SCHEDULE, CONSTRUCTION DETAILS, WALL FRAMING PLAN

The City of CONCORD & CABARRUS COUNTY Building Department utilizes the following codes:
 - 2018 NORTH CAROLINA RESIDENTIAL CODE.

5	SCOPE OF WORK
	1. GARAGE AND DRIVEWAY CONSTRUCTION 2. INSTALLATION OF NEW GARAGE DOORS 3. UNHEATED SPACE SF: 1124.29

3	VICINITY MAP	6	DEFERRED SUBMITALS
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1. GARAGE AND DRIVEWAY CONSTRUCTION
 2. INSTALLATION OF NEW GARAGE DOORS
 3. UNHEATED SPACE SF: 1124.29

SPECIFICATIONS:

DATE DRAWN:
- 11/11/2022
SCALE:
- NTS

DESIGN TEAM:

DESIGNER:
- BURUCA design LLC
ARCHITECTURAL DESIGNER:
- JOSE LUNA
- 414.573.9496
- jose.luna@burucadesign.com

- DESIGN DEVELOPMENT
- PROGRESS CONST. DOC'S
- CITY SUBMITTAL
- CONSTRUCTION ISSUE
- RECORD DRAWINGS



Exhibit D

PROJECT NAME:
**SANG
RESIDENCE**

PROJECT OWNER:
- JOHN SANG

PROJECT ADDRESS:
- 71 FRANKLIN ST.
CONCORD, NC. 28205

GOVERNMENT AGENCY:
- 65 CHURCH ST. S,
CONCORD, NC. 28205

SHEET TITLE:
- SITE PLAN
- CONSTRUCTION PLAN

REV.	DATE	DESCRIPTION
1	08/23/22	CONST. DRAWINGS COMPLETE

SPECIFICATIONS:

DATE DRAWN:
- 10/25/2022

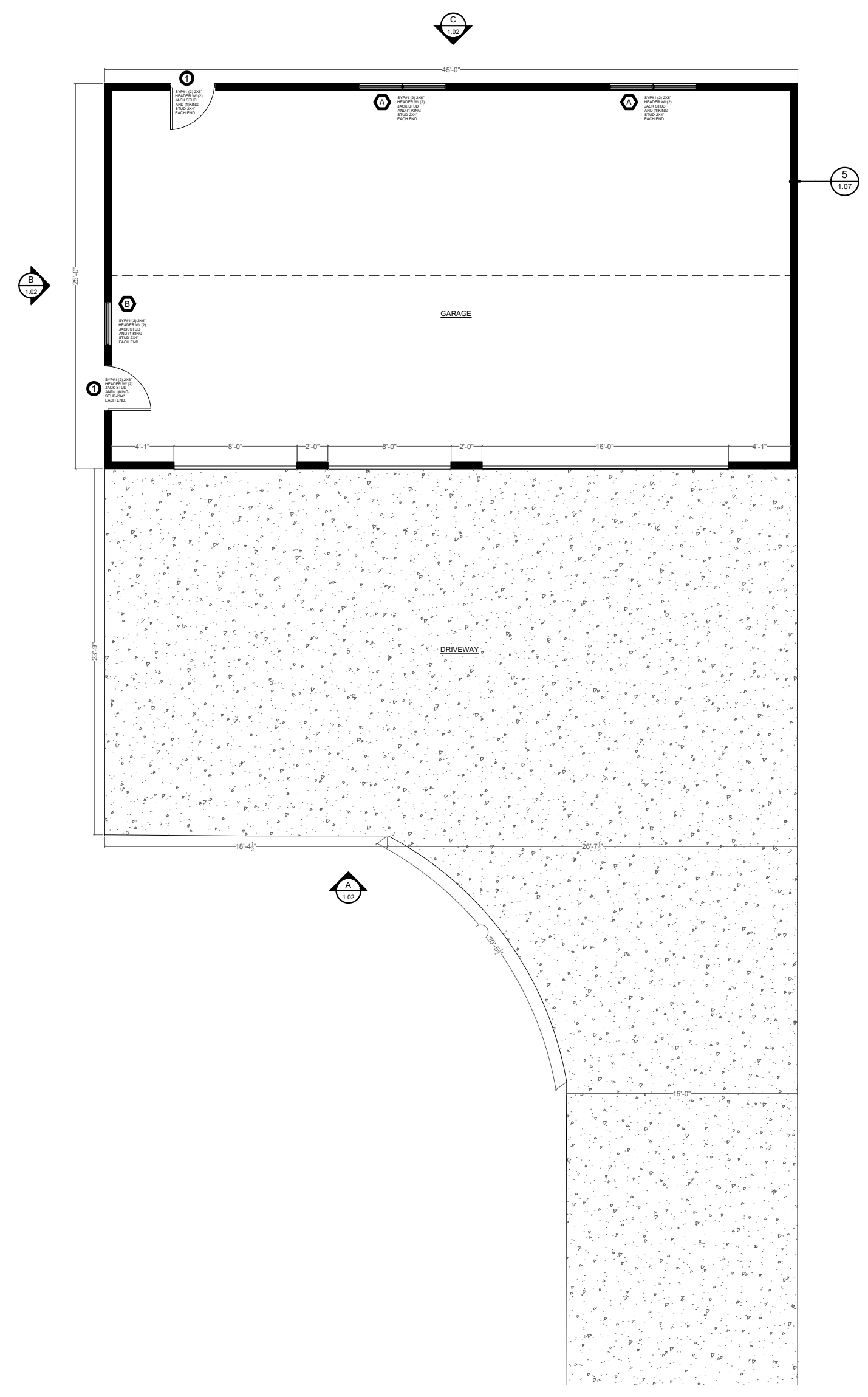
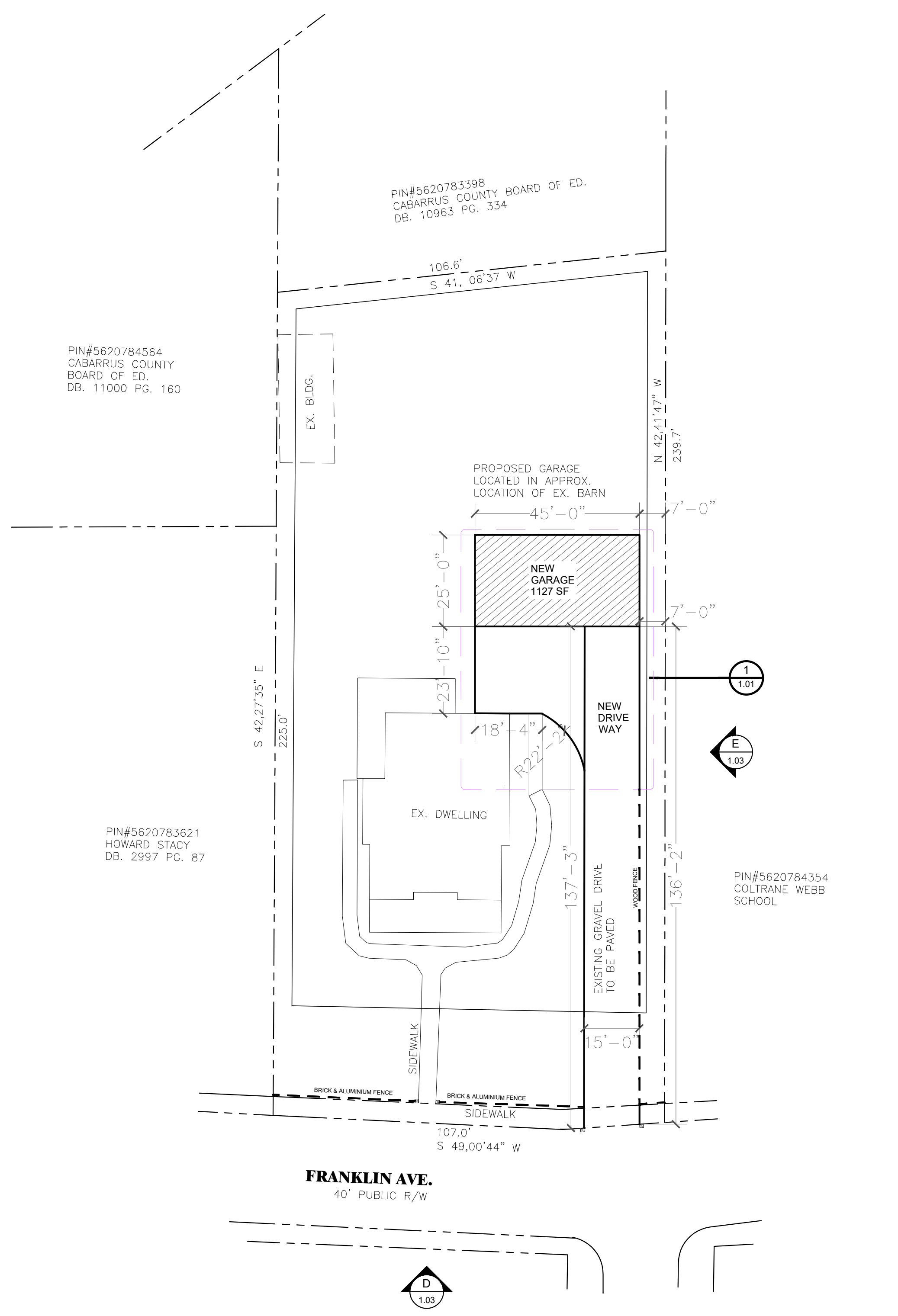
SCALE:
- NTS

DESIGN TEAM:

DESIGNER:
- BURUCA design LLC

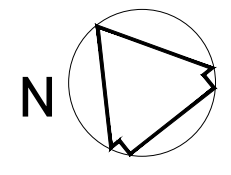
ARCHITECTURAL DESIGNER:
- JOSE LUNA
- 414.573.9496
- jose.luna@burucadesign.com

- DESIGN DEVELOPMENT
- PROGRESS CONST. DOC'S
- CITY SUBMITTAL
- CONSTRUCTION ISSUE
- RECORD DRAWINGS



**GARAGE
CONSTRUCTION PLAN**
SCALE: 3/32" = 1'-0"

SITE PLAN
SCALE: N.T.S



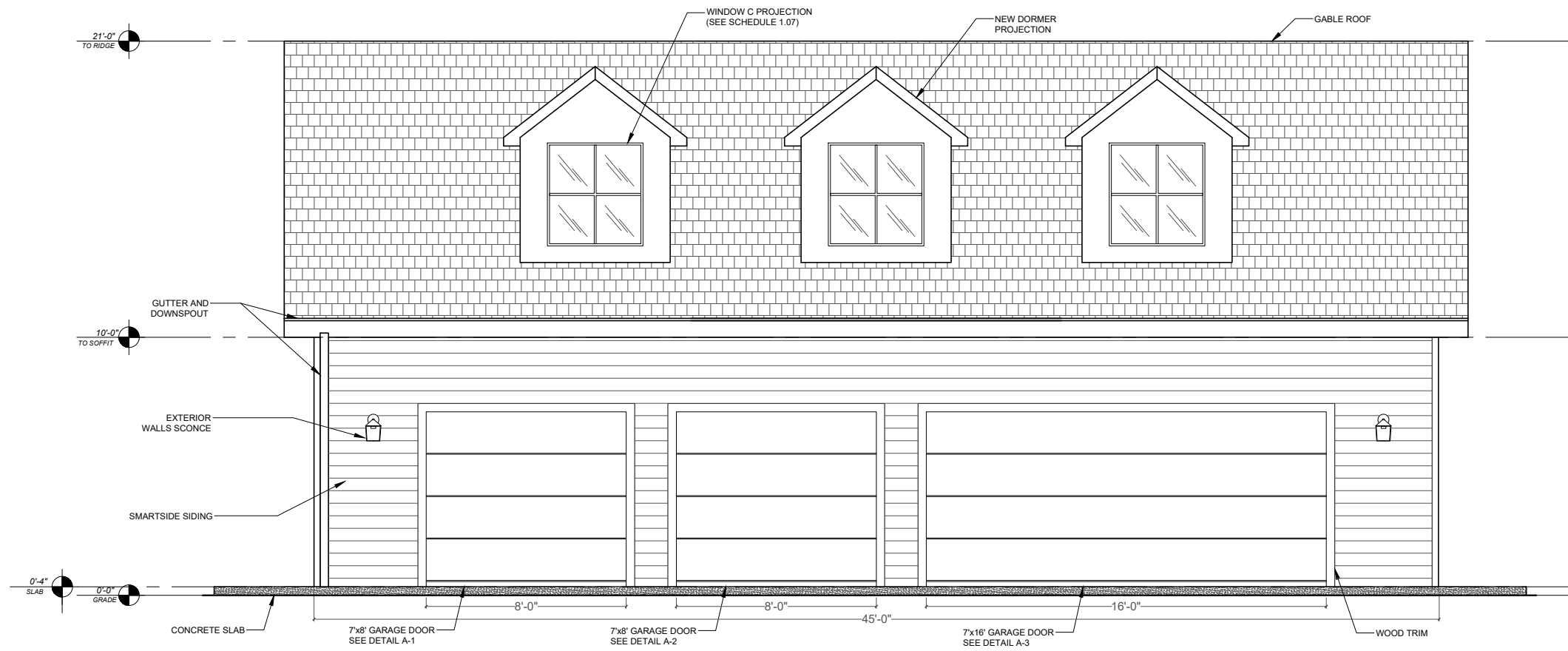
PROJECT NAME:
SANG RESIDENCE

PROJECT OWNER:
- JOHN SANG

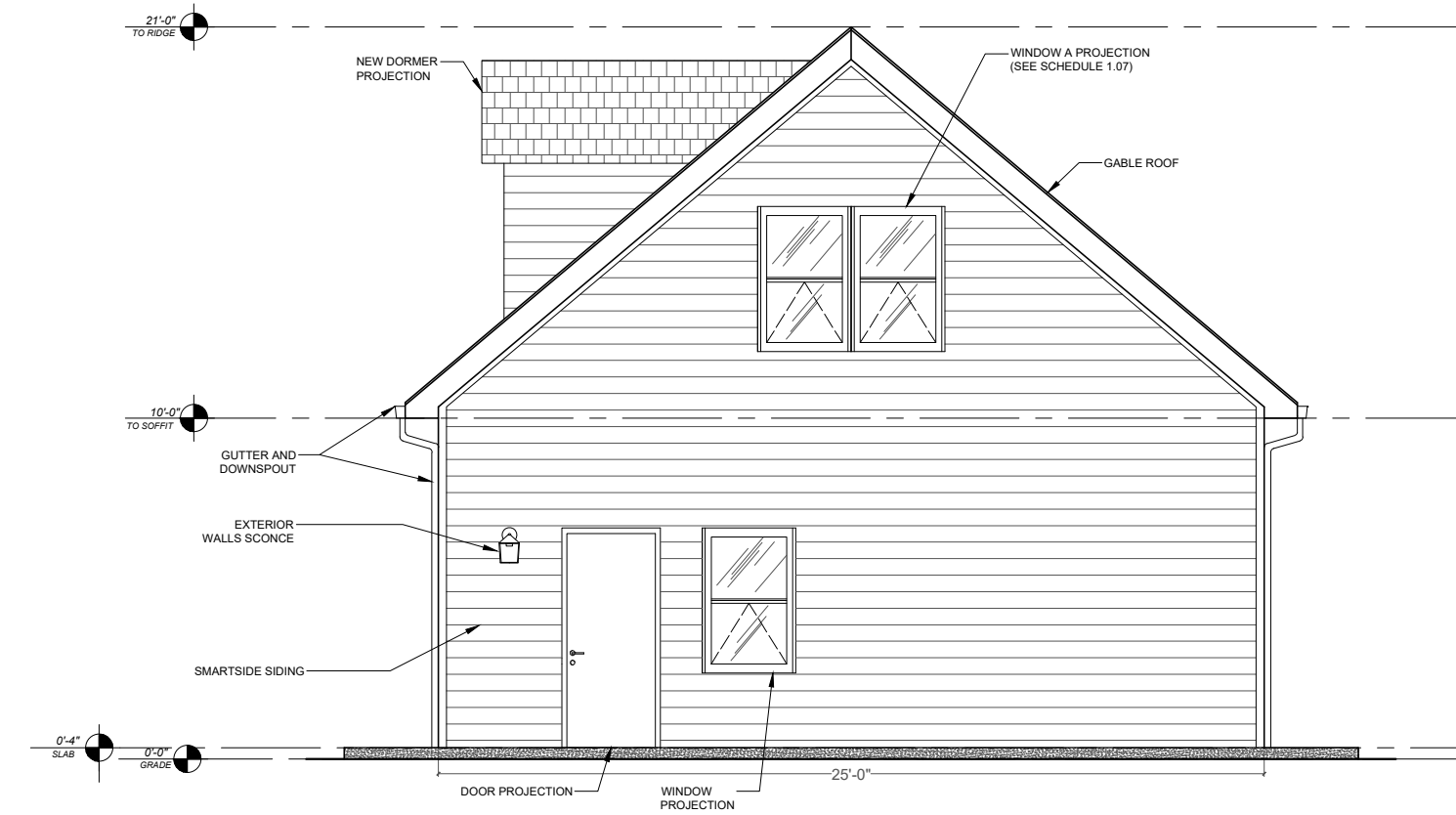
PROJECT ADDRESS:
- 71 FRANKLIN ST.
CONCORD, NC. 28205

GOVERNMENT AGENCY:
- 65 CHURCH ST. S.
CONCORD, NC. 28205

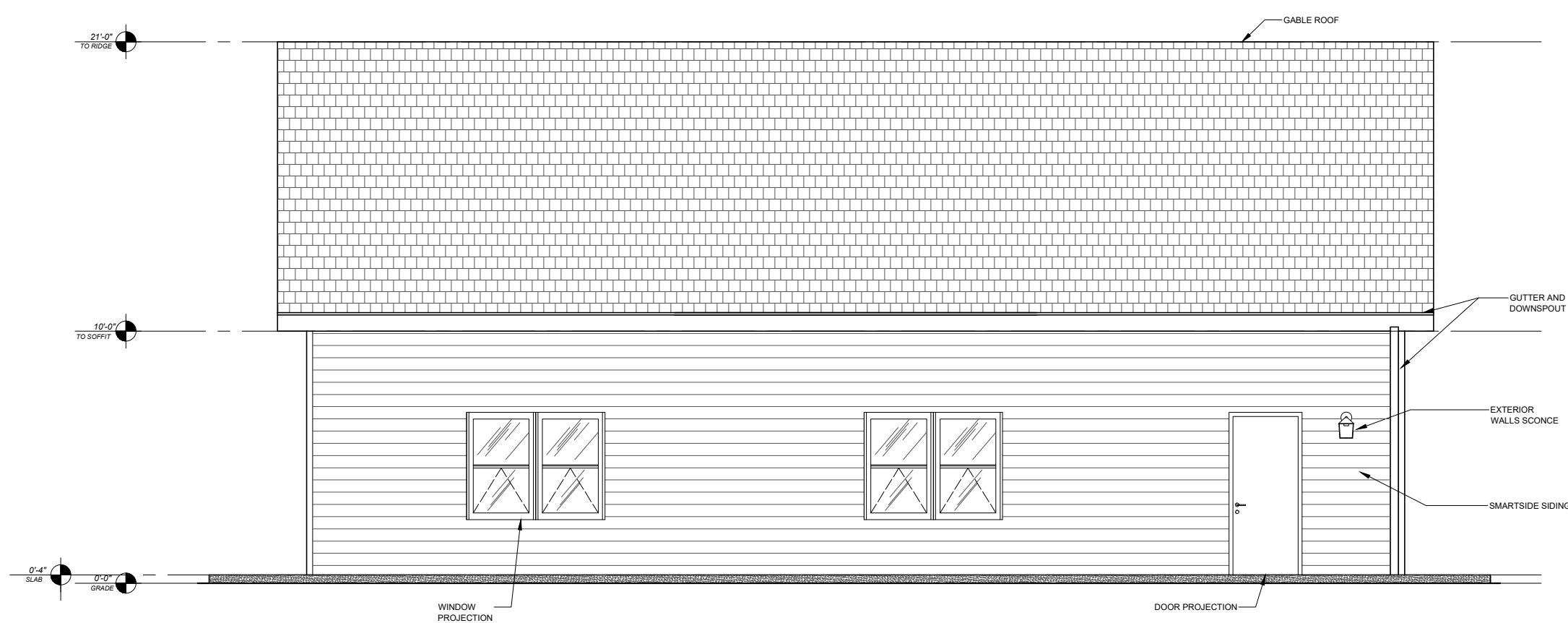
SHEET TITLE:
- ELEVATIONS



GARAGE
ELEVATION A
SCALE: 1/8" = 1'-0"



GARAGE
ELEVATION B
SCALE: 1/8" = 1'-0"



GARAGE
ELEVATION C
SCALE: 1/8" = 1'-0"

REV.	DATE	DESCRIPTION
1	08/23/22	CONST. DRAWINGS COMPLETE

SPECIFICATIONS:

DATE DRAWN:
- 10/26/2022

SCALE:
- 1/8" = 1'-0"

DESIGN TEAM:

DESIGNER:
- BURUCA design LLC

ARCHITECTURAL DESIGNER:
- JOSE LUNA
- 414.573.9496
- jose.luna@burucadesign.com

- DESIGN DEVELOPMENT
- PROGRESS CONST. DOC'S
- CITY SUBMITTAL
- CONSTRUCTION ISSUE
- RECORD DRAWINGS

PROJECT NAME:
SANG RESIDENCE

PROJECT OWNER:
- JOHN SANG

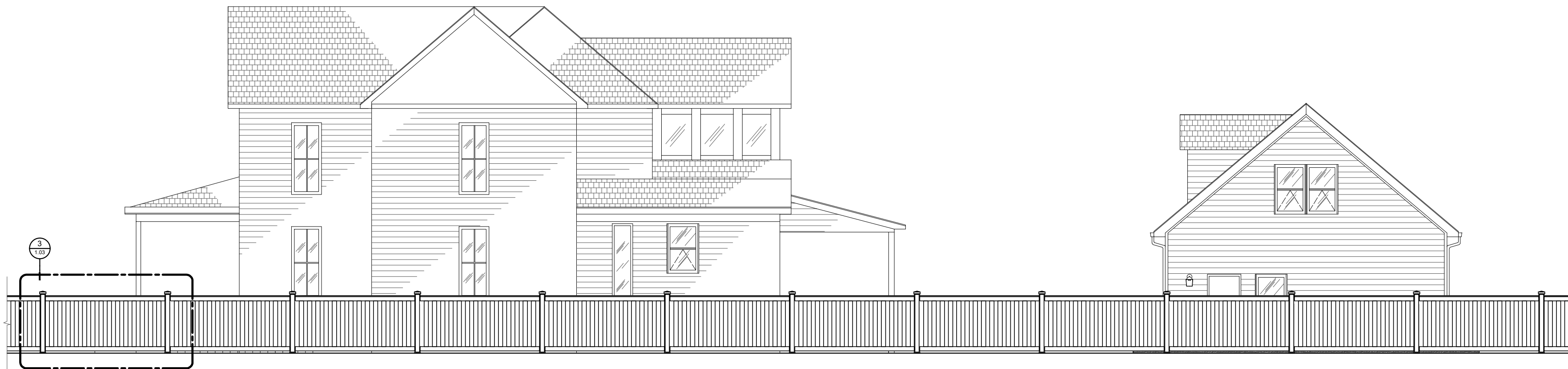
PROJECT ADDRESS:
- 71 FRANKLIN ST.
CONCORD, NC. 28205

GOVERNMENT AGENCY:
- 65 CHURCH ST. S.
CONCORD, NC. 28205

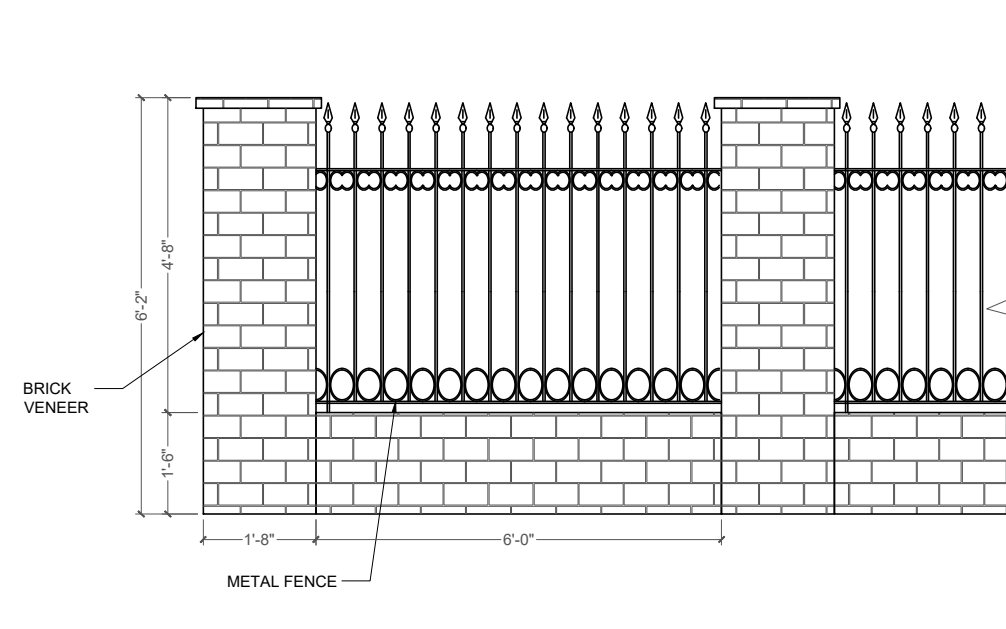
SHEET TITLE:
- FENCE EXTERIOR ELEVATIONS
- FENCE DETAILS



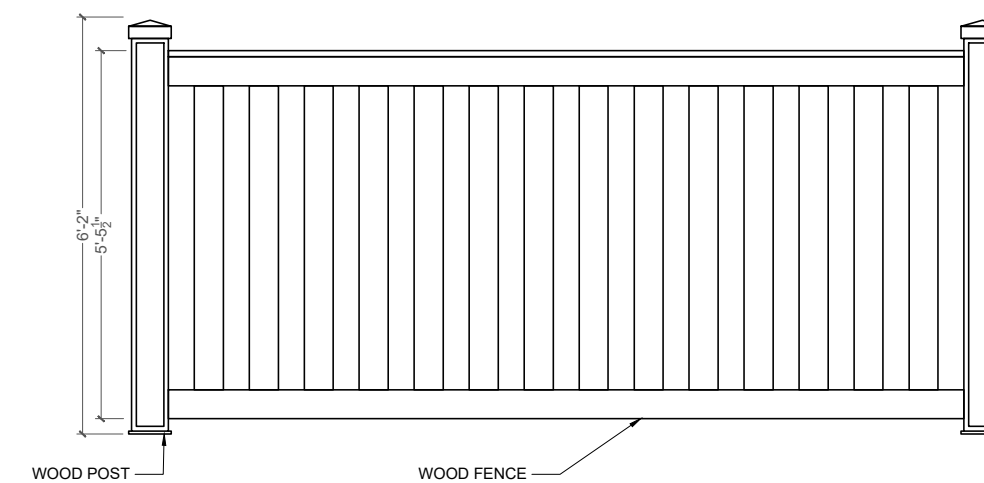
BRICK & METAL FENCE
EXTERIOR ELEVATION D
SCALE: 3/32" = 1'-0"



WOOD FENCE
EXTERIOR ELEVATION E
SCALE: 3/32" = 1'-0"



2
1.03
FENCE
N.T.S



3
1.03
FENCE
N.T.S

REV.	DATE	DESCRIPTION
1	08/23/22	CONST. DRAWINGS COMPLETE

SPECIFICATIONS:

DATE DRAWN:
- 11/11/2022

SCALE:
- 3/32" = 1'-0"

DESIGN TEAM:

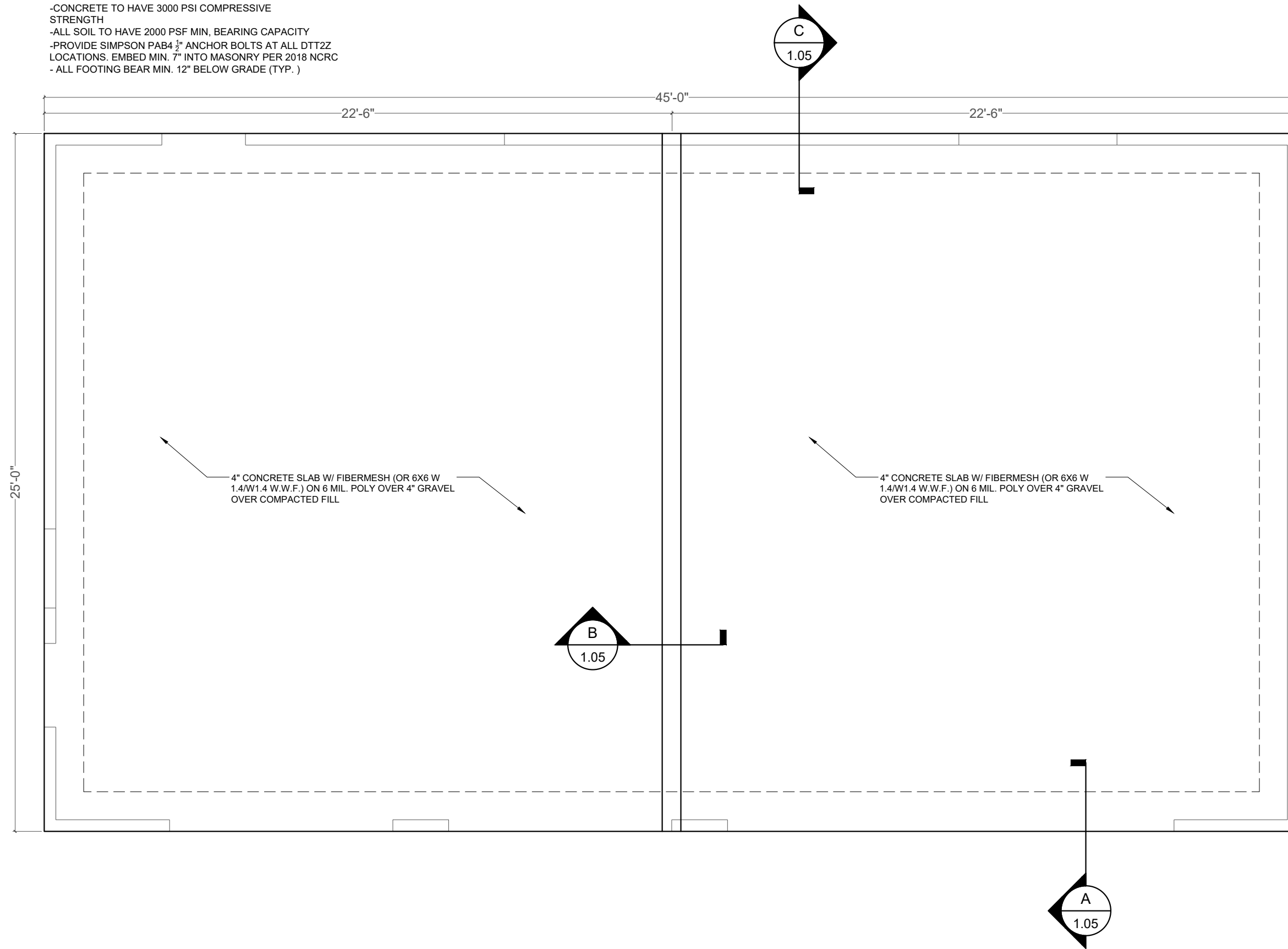
DESIGNER:
- BURUCA design LLC

ARCHITECTURAL DESIGNER:
- JOSE LUNA
- 414.573.9496
- jose.luna@burucadesign.com

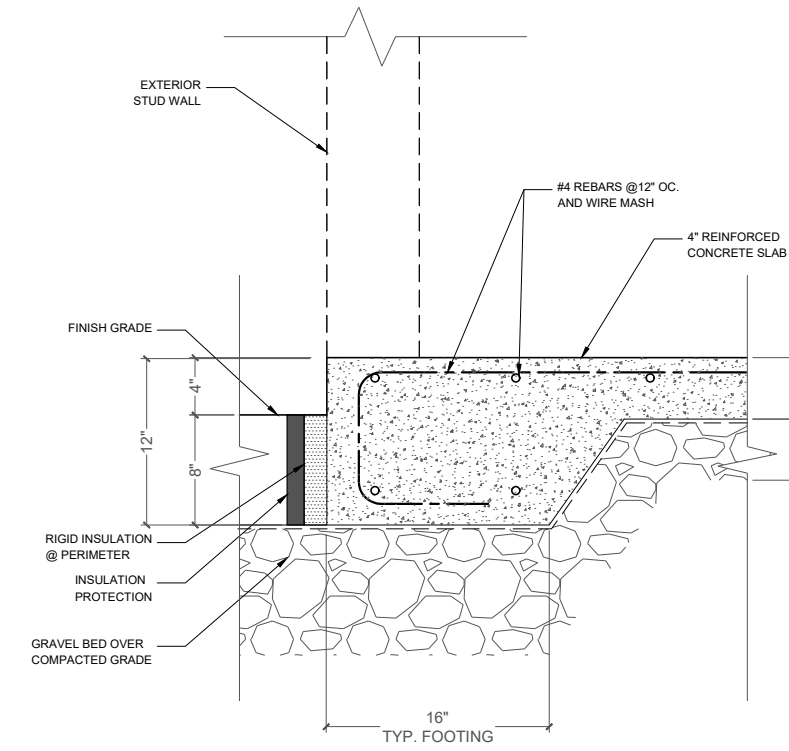
- DESIGN DEVELOPMENT
- PROGRESS CONST. DOC'S
- CITY SUBMITTAL
- CONSTRUCTION ISSUE
- RECORD DRAWINGS

FOUNDATION NOTES:

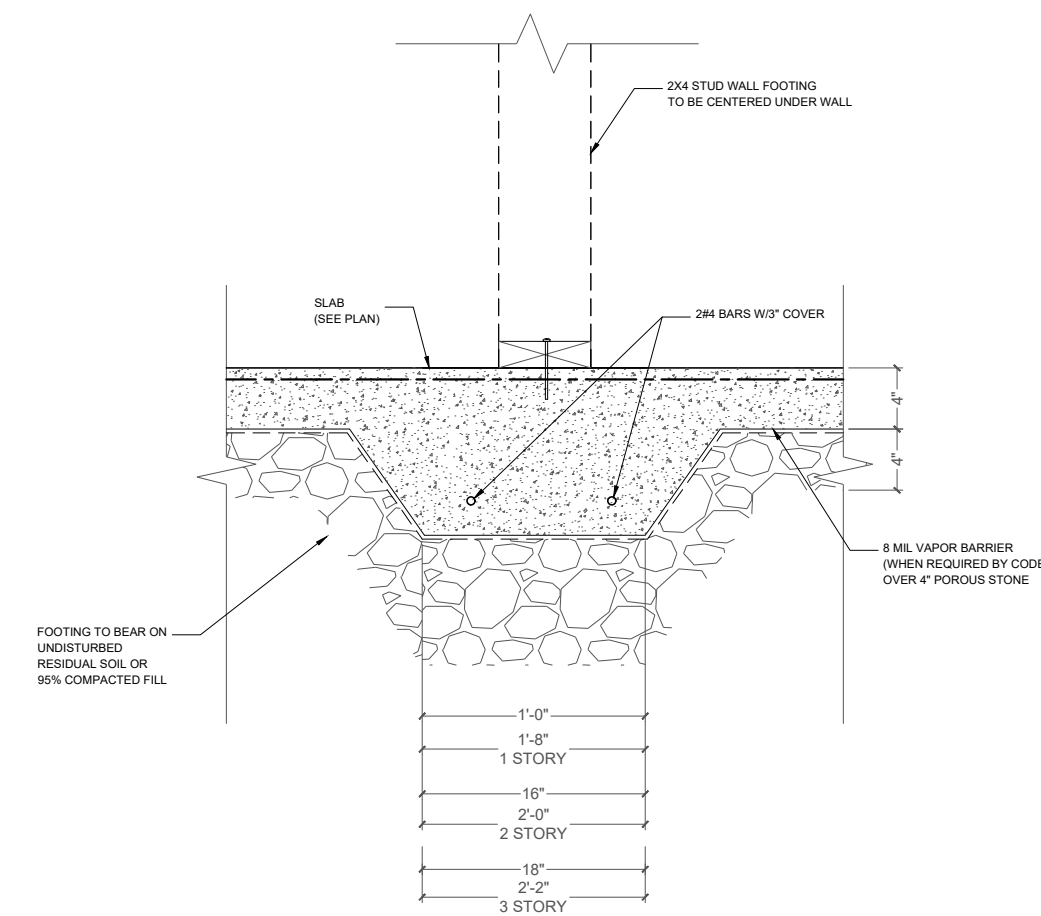
- ALL DIMENSIONS SHALL BE VERIFIED AGAINST ARCHITECTURAL PLANS.
- CONCRETE TO HAVE 3000 PSI COMPRESSIVE STRENGTH
- ALL SOIL TO HAVE 2000 PSF MIN. BEARING CAPACITY
- PROVIDE SIMPSON PAB4 3/8" ANCHOR BOLTS AT ALL DTT2Z LOCATIONS. EMBED MIN. 7" INTO MASONRY PER 2018 NCR
- ALL FOOTING BEAR MIN. 12" BELOW GRADE (TYP.)



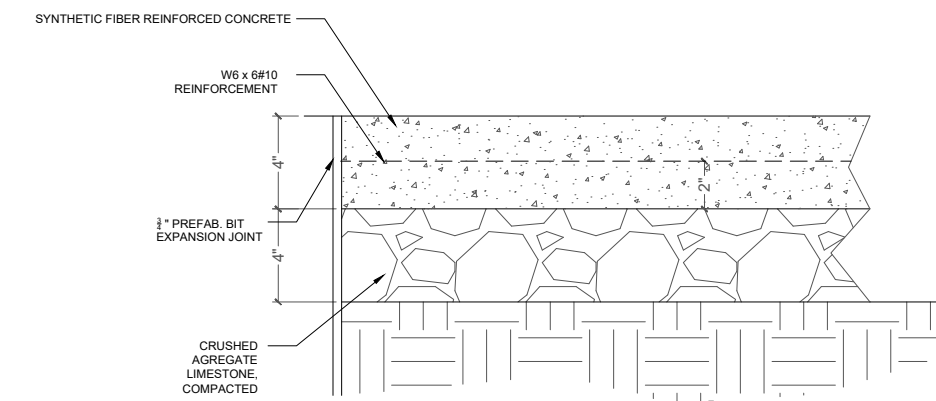
FOUNDATION PLAN
SCALE: 3/16" = 1'-0"



A CONCRETE SLAB FOOTING SECTION
1/8" = N.T.S.



B THICKENED SLAB DETAIL
1/8" = N.T.S.



C THICKENED SLAB DETAIL
1/8" = N.T.S.

SHEET:

1.05

PROJECT NAME:
SANG RESIDENCE

PROJECT OWNER:
- JOHN SANG

PROJECT ADDRESS:
- 71 FRANKLIN ST.
CONCORD, NC. 28205

GOVERNMENT AGENCY:
- 65 CHURCH ST. S.
CONCORD, NC. 28205

SHEET TITLE:
- FOUNDATION PLAN
- CONSTRUCTION DETAILS

REV.	DATE	DESCRIPTION
1	11/11/22	CONST. DRAWINGS COMPLETE

SPECIFICATIONS:

DATE DRAWN:
- 11/11/2022

SCALE:
- 3/16" = 1'-0"

DESIGN TEAM:

DESIGNER:
- BURUCA design LLC

ARCHITECTURAL DESIGNER:
- JOSE LUNA
- 414.573.9496
- jose.luna@burucadesign.com

- DESIGN DEVELOPMENT
- PROGRESS CONST. DOC'S
- CITY SUBMITTAL
- CONSTRUCTION ISSUE
- RECORD DRAWINGS

BURUCA
DESIGN

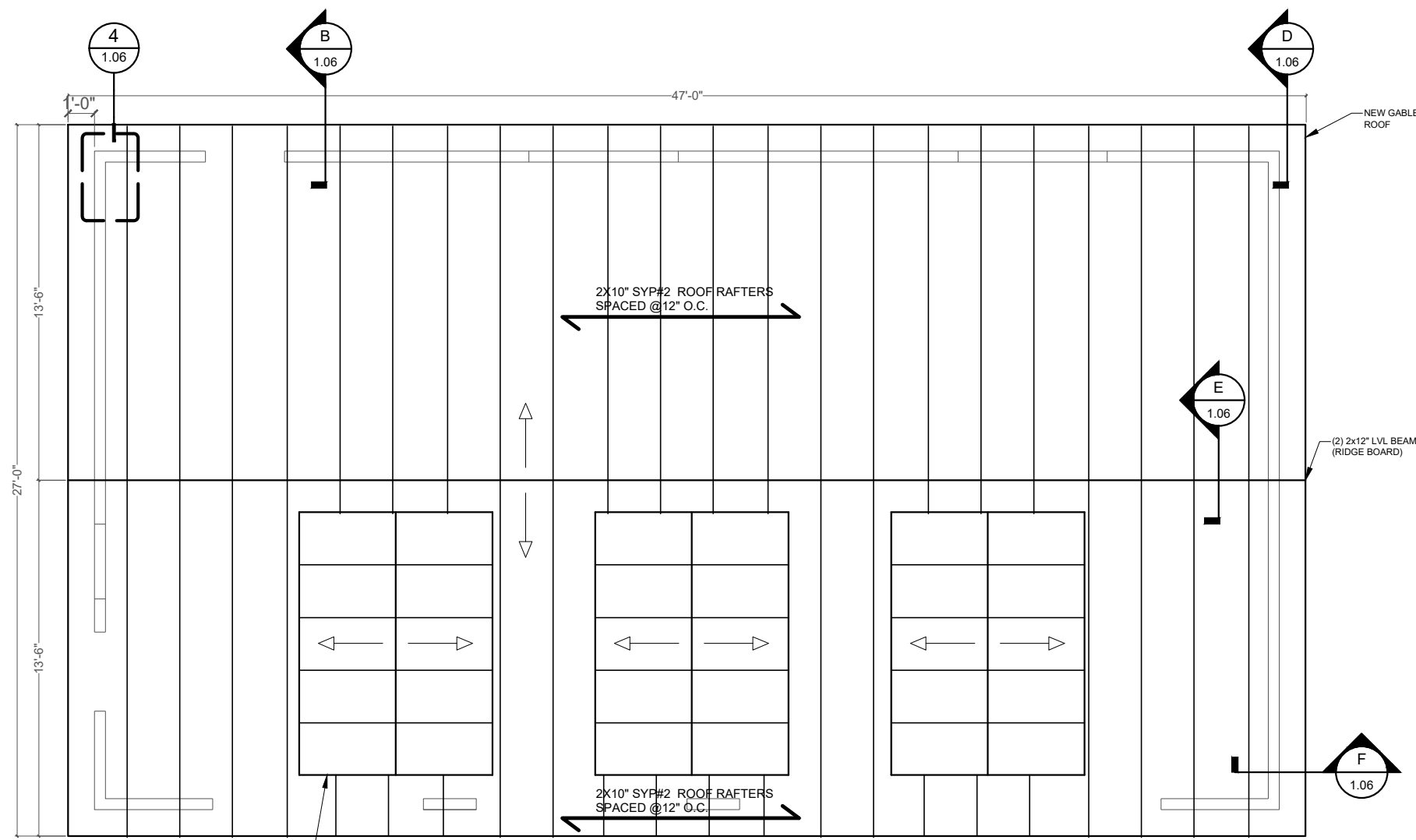
PROJECT NAME:
SANG RESIDENCE

PROJECT OWNER:
- JOHN SANG

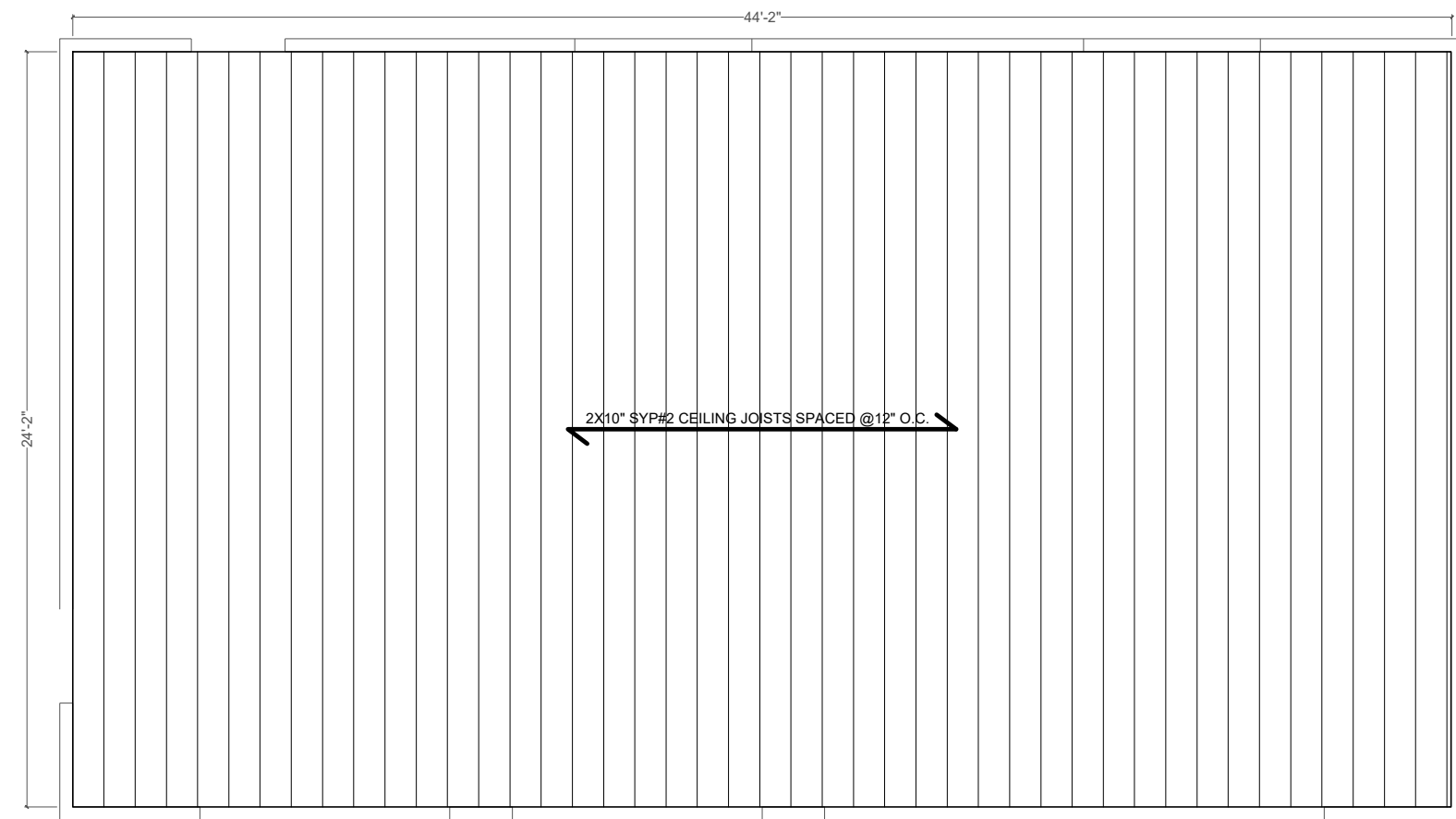
PROJECT ADDRESS:
- 71 FRANKLIN ST.
CONCORD, NC. 28205

GOVERNMENT AGENCY:
- 65 CHURCH ST. S.
CONCORD, NC. 28205

SHEET TITLE:
- ROOF FRAMING PLAN
- CEILING FRAMING PLAN
- CONSTRUCTION DETAILS



ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"



CEILING FRAMING PLAN
SCALE: 1/8" = 1'-0"

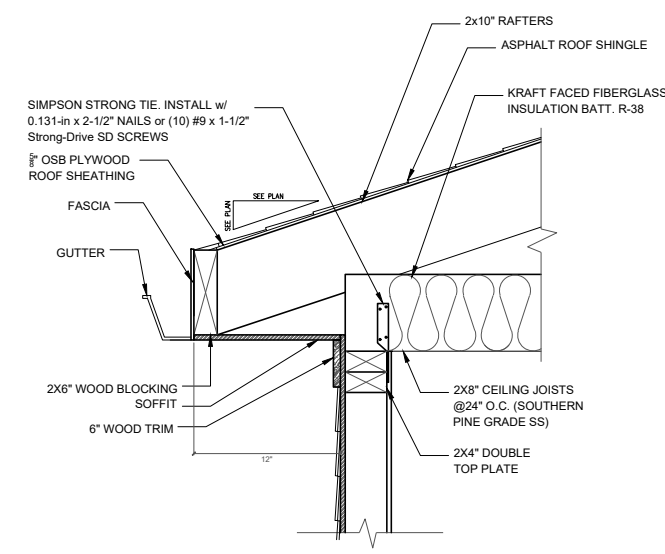
REV.	DATE	DESCRIPTION
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SPECIFICATIONS:

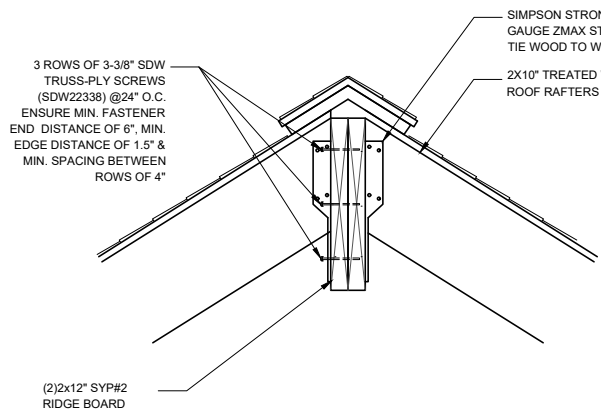
DATE DRAWN:
- 11/11/2022
SCALE:
- 1/8" = 1'-0"

DESIGN TEAM:

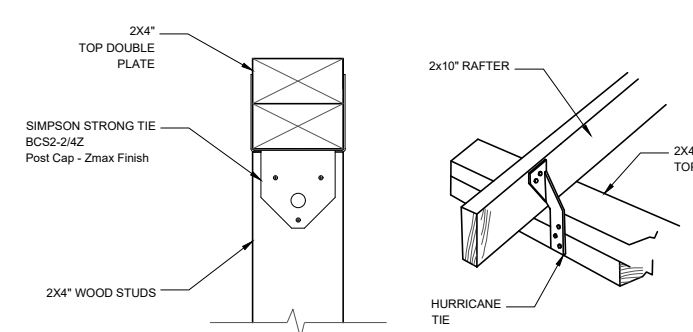
DESIGNER:
- BURUCA design LLC
ARCHITECTURAL DESIGNER:
- JOSE LUNA
- 414.573.9496
- jose.luna@burucadesign.com



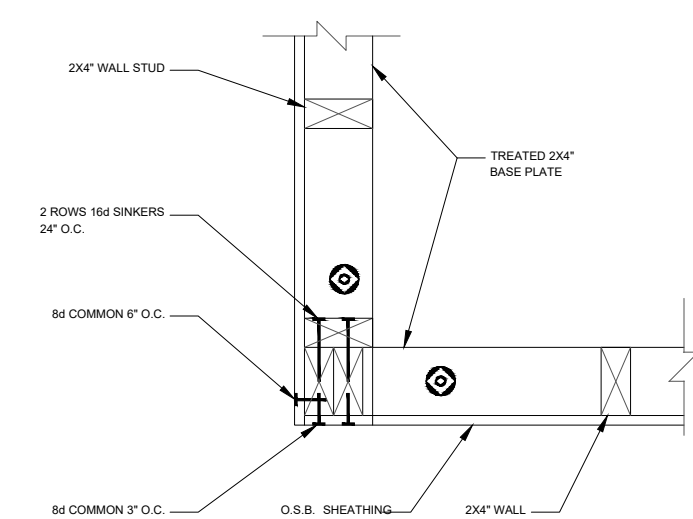
D SOFFIT, RAFTER TO WALL CONNECTION
1.06 / N.T.S.



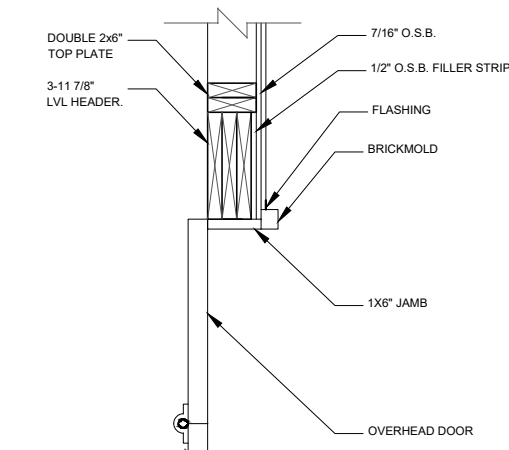
E RIDGE TO RAFTER CONNECTION DETAIL
1.06 / N.T.S.



F HEADER TO WALL CONNECTION
1.06 / N.T.S.



4 TYP. CORNERS FRAMING DETAIL
1.06 / N.T.S.



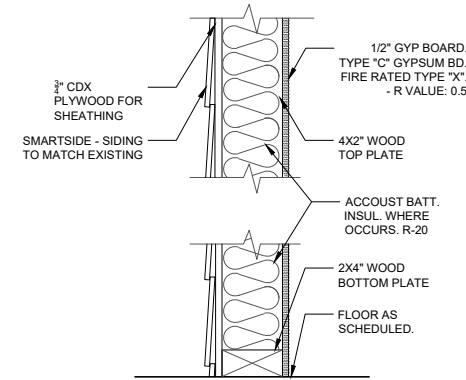
B SECTION THRU OHD HEADER
1.06 / N.T.S.

- DESIGN DEVELOPMENT
- PROGRESS CONST. DOC'S
- CITY SUBMITTAL
- CONSTRUCTION ISSUE
- RECORD DRAWINGS



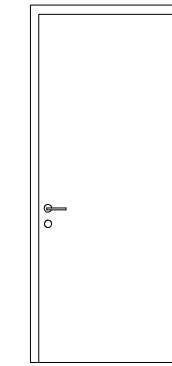
BRACED WALL PANEL SCHEDULE (TABLE R602.10.1 2018 NC RESIDENTIAL CODE)				
METHOD	PANEL TYPE	LOCATION	DESCRIPTION	FASTENERS
PORTAL FRAME (PF)	7/16" OSB	GARAGE DOOR	CONTINUOUS SHEATHED WOOD STRUCTURAL PANEL	6D OR 8D COMMON NAILS IN 3" PATTERN GRID AS SHOWN ON PLANS
CS-WSP (WOOD STRUCTURAL PANLE)	7/16" OSB	EXTERIOR WALLS	CONTINUOUS SHEATHED WOOD STRUCTURAL PANEL	6d COMMON NAILS, OR 1.25" LONG TYPE DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS
GB	1/2" GYPSUM BD.	INTERIOR PARTITION	INTERMITTENT GYPSUM BOARD INSTALLED ON BOTH SIDES OF WALL	6d COMMON NAILS, OR 1.25" LONG TYPE DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS

DOOR SCHEDULE								
DOOR NO.	DOOR SIZE	DOOR TYPE	DOOR MATERIAL	DOOR THICKNESS	FRAME MATERIAL	HARDWARE GROUP	FIRE RATED	REMARKS
1	3'-0" x 6'-8"	A	SOLID CORE WOOD, PAINT GRADE	1-3/4"	SOLID WOOD	1	20 MIN.	
GROUP #1 3 HINGES 1 DOOR STOP 1 CLOSER 1 LOCKSET								



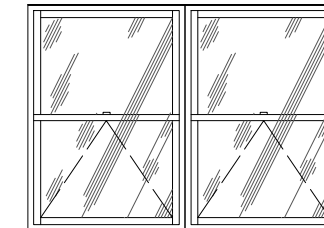
WALL HEIGHT: 8'-6"

5 TYP. EXTERIOR STUD WALL DETAIL N.T.S.

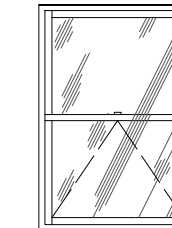


A SC DOOR TYPE 01

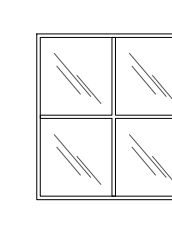
WINDOW SCHEDULE						
WINDOW ID.	WINDOW SIZE	SILL HEIGHT	WINDOW TYPE	FRAME MATERIAL	U-FACTOR	REMARKS
A	5'-8"x4'-4"	2'-3"	A	ALUMINUM/ POWDER COATED	0.20	
B	2'-10"x4'-4"	2'-3"	B	ALUMINUM/ POWDER COATED	0.20	
C	3'-10"x4'-0"	0'-8"	C	ALUMINUM/ POWDER COATED	0.20	



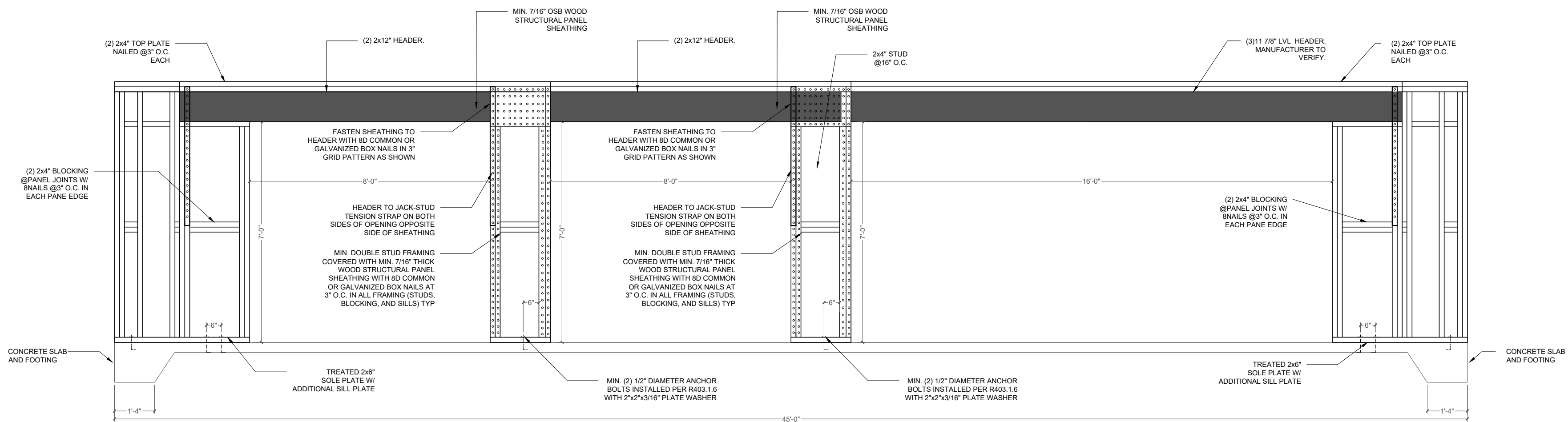
A DOUBLE HUNG WINDOW



B SINGLE HUNG WINDOW



C FIXED WINDOW



GARAGE DOOR FRAMING DETAIL

SCALE: 1/4" = 1'-0"

PROJECT NAME:
SANG RESIDENCE

PROJECT OWNER:
- JOHN SANG

PROJECT ADDRESS:
- 71 FRANKLIN ST.
CONCORD, NC. 28205

GOVERNMENT AGENCY:
- 65 CHURCH ST. S.
CONCORD, NC. 28205

SHEET TITLE:
- SCHEDULE
- WALL FRAMING DETAIL
- CONSTRUCTION DETAIL

REV.	DATE	DESCRIPTION
1	11/11/22	JL CONST. DRAWINGS COMPLETE

SPECIFICATIONS:

DATE DRAWN:
- 11/11/2022

SCALE:
- N.T.S

DESIGN TEAM:

DESIGNER:
- BURUCA design LLC

ARCHITECTURAL DESIGNER:
- JOSE LUNA
- 414.573.9496
- jose.luna@burucadesign.com

- DESIGN DEVELOPMENT
- PROGRESS CONST. DOC'S
- CITY SUBMITTAL
- CONSTRUCTION ISSUE
- RECORD DRAWINGS



<u>DATE</u>	August 9, 2023
<u>SUBJECT</u>	
<u>Certificate of Appropriateness Request:</u>	H-16-23
<u>Applicant:</u>	John & Amy Treat
<u>Location of subject property:</u>	36 Georgia St. NW
<u>PIN:</u>	5620-77-5532
<u>Staff Report prepared by:</u>	Autumn C. James, Planning & Development Manager

BACKGROUND

- The subject property, 36 Georgia St. NW, is designated as a “Contributing” structure in the North Union Street Historic District (Exhibit A).
- “Late Victorian, L-shape, one-story cottage has projecting gabled bay at sound end of the façade. Gable exhibits a boxed cornice with decorative buttons alternating with panels. Door surround also features buttons found in cornice. Main gable roof has a small gabled dormer with ventilator. Both gables have three rows of saw-tooth shingles alternating with square cut-shingles. Full façade porch with square vernacular columns is unoriginal.(Exhibit A).

DISCUSSION

On June 6, 2023, John & Amy Treat, applied for a Certificate of Appropriateness under Concord Development Ordinance (CDO) §9.8 for installation of an in-ground swimming pool (Exhibit B). As proposed, the pool will have a rectangular shape with dimensions to measure 32.50’ (length) and 15.0’ (width) with concrete decking and would be located in the rear yard. The depth of the pool will be 3.50’ at the shallow point, and increase to 5.0’ at the deepest point.

Staff has discussed the Concord Development Ordinance regulations with the applicant and the applicant has confirmed that the accessory structures do not occupy more than thirty-percent (30%) of the required rear yard and that the swimming pool shall be set back from all lot lines a distance of not less than five (5) feet. It is also noted from the applicant that their entire rear yard is surrounding by a protective fence of not less than four (4) feet in height. The right-side fence facing the rear yard is 5’ tall, the back brick wall is 7’ tall and the left side has an existing 4’ chain link fence with approximately 15’ plus of natural tree barrier. They have also recently installed an approved a 5’ driveway gate/fence and side area aluminum fence.

ATTACHMENTS

Exhibit A: National Register of Historic Places Inventory
Exhibit B: Application for Certificate of Appropriateness
Exhibit C: Subject Property Map
Exhibit D: Site Plan
Exhibit E: City of Concord Development Ordinance (CDO)
Exhibit F: Applicant Submitted Photographs

HISTORIC HANDBOOK DESIGN RECOMMENDATIONS

Approval Requirement Needs Table: Miscellaneous

Any type of alteration of exterior features of a building, site, or environment which is not specifically listed require Commission Hearing and Approval.

Concord Development Ordinance Regulations:

Section 8.4.2 Accessory Uses - Location

A. Accessory structures shall be required meet the setback standards for accessory structures as set forth in Section 7.6.3 Dimensional and Density Standards. Accessory structures may be located within a setback yard for principal structures and shall be regulated in accordance with the standards below. No accessory structure shall be located less than 36 inches from the exterior wall of the principal structure. Structures that are located closer than 36 inches shall be considered as additions to the principal structure and shall conform to all applicable setbacks.

B. For residential lots not exceeding two (2) acres, detached accessory structures shall not be located in the front yard. Detached accessory structures may be built in the required rear yard but such accessory structures shall not occupy more than thirty (30%) percent of the required rear yard and shall not be closer than five feet to any side or rear lot line or setback line.

C. For residential lots exceeding two (2) acres, detached accessory structures may be located in the front yard but not closer than seventy-five feet (75') from the front property line/street right-of-way. Detached accessory structures may be closer than the distance specified above if they are not visible from a public street.

D. The location of permitted non-residential accessory structures shall be governed by the same dimensional regulations as set forth for the principal use structure(s).

E. Accessory structures on double frontage lots shall not be closer to either street than the required front yard setback.

Section 8.4.4 Swimming Pools

A private swimming pool along with incidental installations, such as pumps and filters, is permitted in any residential zoning district provided:

A. The swimming pool and incidental installations are located in a location other than the front yard.

B. If any pool contains at least four hundred fifty (450) square feet of water surface area or has a depth of thirty-six (36) inches or greater at its shallowest point, the pool shall be enclosed from adjoining lots by the Principal Building, and Accessory Building, a solid wall, or a protective fence of not less than four (4) feet in height. In the alternative, a pool cover shall be provided and shall be installed whenever the pool is not in use.

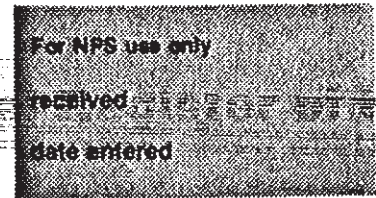
C. The swimming pool shall be set back from all lot lines a distance of not less than five (5) feet.

RECOMMENDATION

1. The Historic Preservation Commission should consider the circumstances of this application for a Certificate of Appropriateness relative to the North and South Union Street Historic Districts Handbook and act accordingly.
2. If approved, applicant(s) should be informed of the following:
 - City staff and Commission will make periodic on-site visits to ensure the project is completed as approved.
 - Completed project will be photographed to update the historic properties survey.

United States Department of the Interior
National Park Service

National Register of Historic Places
Inventory—Nomination Form



Continuation sheet

Item number

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Inventory List - North Union Street
Historic District, Concord

#7

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with decorative sawn work. Original Italianate front porch was replaced with Colonial Revival porch that extends two bays and is supported by Tuscan columns. Original foundation is of rock and house features a small rock cistern in back yard. Rear kitchen ell has side gable with boxed cornice. Fenestrations are two-over-two sash except for the transom window flanking the door. Northern porch was enclosed to form a sunroom with latticed sash bungalow windows. North side of house has projecting Queen Anne bay with stained glass. Chimneys have been replaced.

Pendleton Bernard Fetzer (1849-1912) was a native of Virginia and came to Cabarrus County after the Civil War. Fetzer became a leading cotton buyer by the 1870's and later formed a general merchandising firm with the Cannons.

- 184. House
59 Georgia Street, N.W.
1920
C

Two-story frame house with hipped dormer and ventilator. Second floor fenestrations are six-over-one. First floor features one pane window with transom. Front porch has molding and features open-paired posts.

- 185. House
68 Georgia Street, N.W.
ca. 1920
C

A typical frame, L-shape, one-story, cottage features a projecting northern bay with hip roof. latter has hipped dormer with ventilator. Side wing has gable roof with hipped dormer. Slanted entrance of the central bay has flat roof. Porch is covered with a flat roof and wraps-around slanted bay and has shingled balustrade with unusual tapered classical columns. Northern elevation also has dormer with hipped roof. Chimneys are unoriginal. Fenestrations are nice two-over-ones.

- 186. William Bingham
36 Georgia Street, N.W.
1912
C

United States Department of the Interior
National Park Service

National Register of Historic Places
Inventory—Nomination Form

For NPS use only
Received
Date entered

Continuation sheet

Item number

Page

Inventory List - North Union Street
Historic District, Concord

#7

83

Late Victorian, L-shape, one-story cottage has projecting gabled bay at south end of the facade. Gable exhibits a boxed cornice with decorative buttons alternating with panels. Door surround also features buttons found in cornice. Main gable roof has a small gabled dormer with ventilator. Both gables have three rows of sawtooth-shingles alternating with square cut-shingles. Full facade porch with square vernacular columns is unoriginal.

William Bingham began his career as a shipping clerk at Gibson Drug Company and later became the store's pharmacist and Secretary-Treasurer of Gibson's Inc.

187. Mattie Query House
30 Georgia Street, N.W.
1912 (SM)
C

Two-story, frame, three-bay, folk-Victorian house has a high hip roof with two unoriginal interior chimneys. Fenestrations on both elevations are one-over-one sash. Plain window surrounds have thin, lintel moldings. Principal entrance has fluting alternating with raised panels with set buttons. Northern bay is projecting with windows on all three sides. Bay has gable roof with boxed cornice and ventilator. Full facade porch wraps around one bay on both north and south elevations. Porch features a plain balustrade with turned posts. Rear ell has one-story slanted bay with one window featuring diagonally latticed muntins.

188. House
24 Georgia Street, N.W.
ca. 1926
F

Heavily remodeled, one-story cottage has a side gable roof. Engaged porch features replaced square columns and paneled molding with dentils. Broken pediment directly above entrance. Principal door has heavy molded surrounds. Fenestrations include a flanking picture window and six-over-six sash.

189. A.W. Folkes House
21 Edgewood Avenue, N.E.
1922 (SM)
C

Lovely, one-and-a-half story, frame bungalow with gable front roof that has bracketed eaves. Three-bay facade features one-over-one sash windows



AN INCOMPLETE APPLICATION WILL NOT BE PLACED ON THE AGENDA UNTIL ALL OF THE REQUIRED ATTACHMENTS AND/OR ITEMS LISTED ON PAGE 2 ARE SUBMITTED.

APPLICANT INFORMATION

Name: John & Amy Treat
Address: 36 Georgia Street NW
City: Concord State: NC Zip Code: 28025 Telephone: 949-394-1401

OWNER INFORMATION

Name: John & Amy Treat
Address: 36 Georgia Street NW
City: Concord State: NC Zip Code: 28025 Telephone: 949-394-1401

SUBJECT PROPERTY

Street Address: 36 Georgia Street NW P.I.N. # 5620-77-5532
Area (acres or square feet): 17,860 Current Zoning: RM-2 Land Use: Suburban Neighborhood
2,506 Living

**Staff Use
Only:**

Application Received by: _____ Date: _____, 20 _____
Fee: \$20.00 Received by: _____ Date: _____, 20 _____

The application fee is nonrefundable.

General Requirements

The Unified Development Ordinance imposes the following rules, regulations and requirements on requests for Certificates of Appropriateness. The applicant must, with reference to the attached plans, demonstrate how the proposed use satisfies these requirements:

1. Project or Type of Work to be Done: In ground swimming pool

2. Detailed specifications of the project (type of siding, windows, doors, height/style of fence, color, etc.):
See attached pool proposal

Required Attachments/Submittals

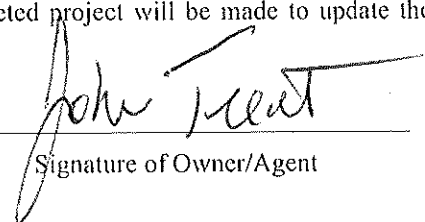
1. Scaled site plan, if additions or accessory structures are proposed, on letter, legal or ledger paper. Larger sized copies will be accepted. Digital copies are preferred.
2. Detailed written description of the project.
3. Photographs of site, project, or existing structures from a "before" perspective.
4. Drawings, sketches, renderings, elevations, or photographs necessary to present an illustration of the project from an "after" perspective if applicable.
5. Samples of windows, doors, brick, siding, etc. must be submitted with application.
6. Detailed list of materials that will be used to complete the project.

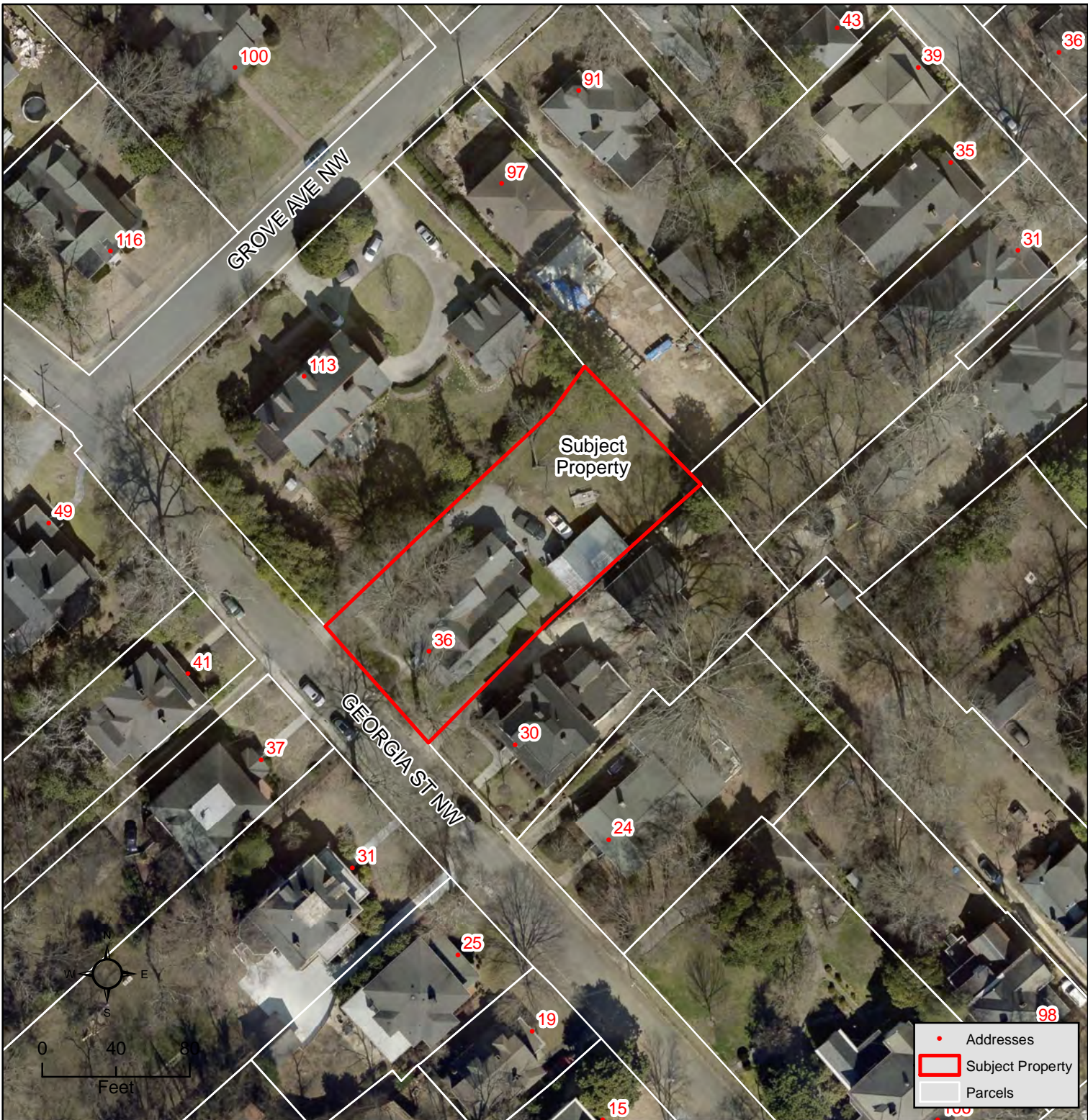
Certification

(1) I hereby acknowledge and say that the information contained herein and herewith is true and that this application shall not be scheduled for official consideration until all of the required contents are submitted in proper form to the City of Concord Development Services Department. (2) I understand that City staff and/or members of the Historic Preservation Commission may make routine visits to the site to insure that work being done is the same as the work that was approved. (3) I understand that photographs of the completed project will be made to update the City's historic districts inventory database.

June 6, 2023

Date

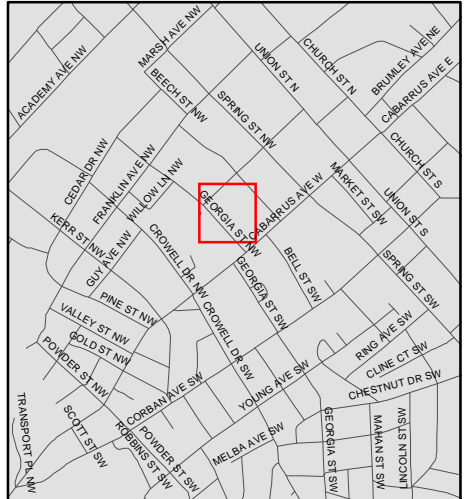

 Signature of Owner/Agent



H-16-23

36 Georgia St NW

PIN: 5620-77-5532



Source: City of Concord
Planning Department

Disclaimer

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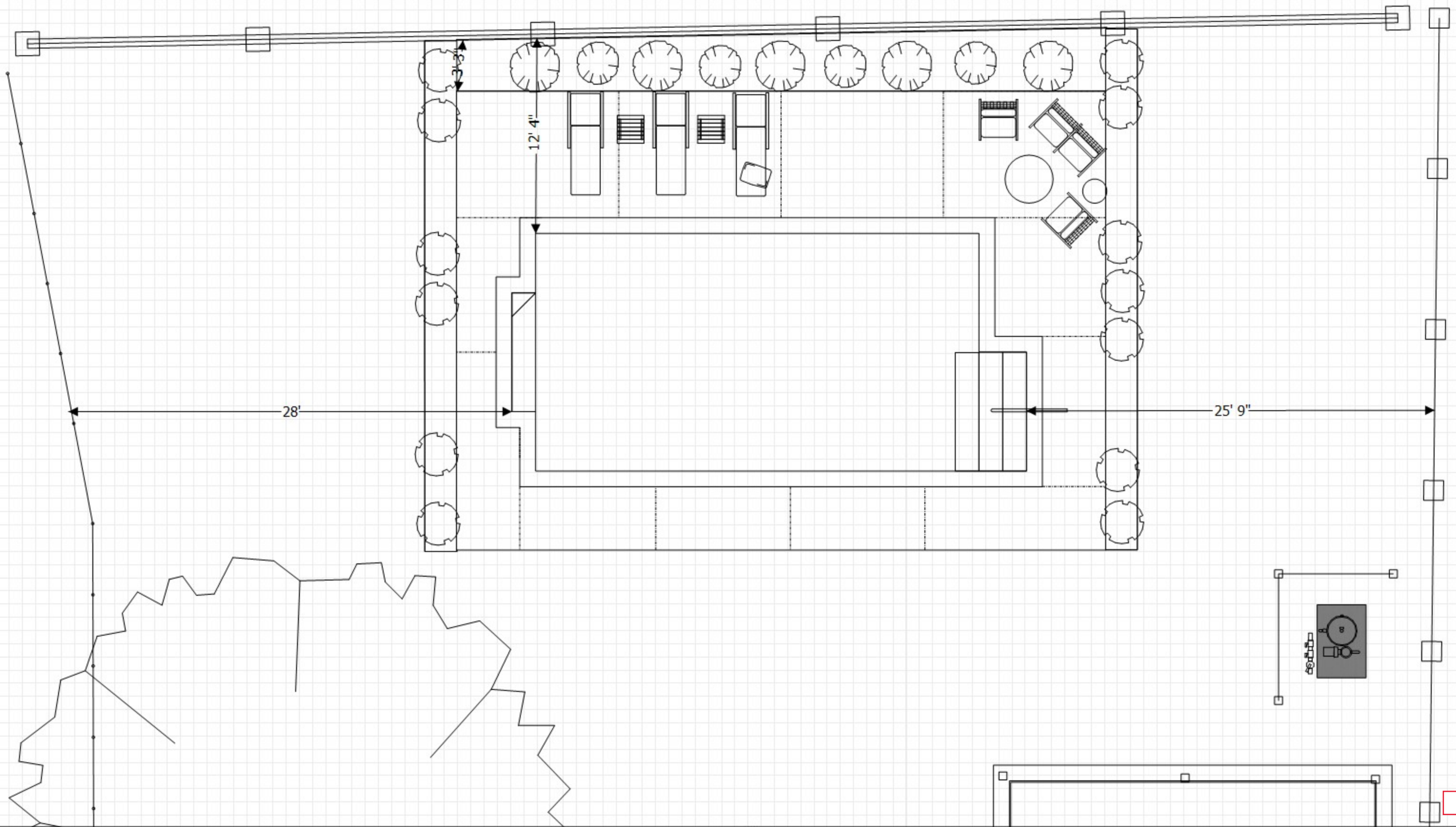


Exhibit D

- iii. As part of decommissioning, a removal plan that identifies all structures, components, and non-utility owned equipment that shall be removed;
- iv. As part of decommissioning, a plan for recycling or otherwise reusing all materials to the extent reasonably practicable;
- v. As part of decommissioning, a restoration plan to return the property to its condition prior to the installation of the SES or to some other condition reasonably appropriate for the designated land use after the SES is removed; and
- vi. A timeline to complete decommissioning.

8.4 Accessory Uses

8.4.1 PERMITTED ACCESSORY USES

A. The uses listed in Column A, below, shall be permitted by right (unless noted otherwise) in any of the zoning districts set forth in Column B, below:

(A) Accessory Use	(B) Zoning Districts
Accessory Dwellings (subject to § 8.3.3.C)	See Use Table (Section 8.1.8)
Adult Day Care Home (up to 6 residents)	All Residential Zoning Districts
Family Day Care Home (up to 12 children, including both customers and family members)	All Residential Zoning Districts
Garages or Carports (noncommercial)	All Zoning Districts
Greenhouses (noncommercial)	All Residential Zoning Districts
Home Occupations (subject to § 8.5)	All Residential Zoning Districts
Off-Street Parking and Driveways	All Zoning Districts
Wireless Telecommunications Antennas or Tower (subject to § 8.7)	All Zoning Districts
Other Telecommunication Antennas or Tower	See Use Table (Article 8)
Satellite Dishes	All Zoning Districts
Signs (see Article 12)	All Zoning Districts
Storage Buildings (Residential)	All Zoning Districts
Swimming Pools (subject to § 8.4.4)	All Residential Zoning Districts
Stables/Private (see § 8.3.2.A)	AG, RE, RL
Tennis Courts (subject to the provisions of this Section)	All Zoning Districts
Any other Building or Use customarily incidental to the permitted Primary Use or Building (subject to § 8.4.2)	All Zoning Districts

B. Establishment

Accessory buildings or uses shall not be constructed or established on a lot until construction of the principal building has commenced or the primary use is established, except as provided in section 8.8.3-D. Accessory buildings shall not be used for dwelling purposes, except as provided in section 8.3.3-C and 8.3.3.F.

8.4.2. LOCATION

A. Accessory structures shall be required meet the setback standards for

accessory structures as set forth in Section 7.6.3 Dimensional and Density Standards. Accessory structures may be located within a setback yard for principal structures and shall be regulated in accordance with the standards below. No accessory structure shall be located less than 36 inches from the exterior wall of the principal structure. Structures that are located closer than 36 inches shall be considered as additions to the principal structure and shall conform to all applicable setbacks.

- B. For residential lots not exceeding two (2) acres, detached accessory structures shall not be located in the front yard. Detached accessory structures may be built in the required rear yard but such accessory structures shall not occupy more than thirty (30%) percent of the required rear yard and shall not be closer than five feet to any side or rear lot line or setback line.
- C. For residential lots exceeding two (2) acres, detached accessory structures may be located in the front yard but not closer than seventy-five feet (75') from the front property line/street right-of-way. Detached accessory structures may be closer than the distance specified above if they are not visible from a public street.
- D. The location of permitted non-residential accessory structures shall be governed by the same dimensional regulations as set forth for the principal use structure(s).
- E. Accessory structures on double frontage lots shall not be closer to either street than the required front yard setback.

8.4.3. HEIGHT

- A. Accessory structures shall not exceed fifteen (15) feet in height, where the accessory structure complies with the minimum accessory structure setback as specified in Table 7.6.2.B. The accessory structure may be two stories in height if the accessory structure complies with the minimum principal structure setback as specified in Table 7.6.2.B.

8.4.4. SWIMMING POOLS

A private swimming pool along with incidental installations, such as pumps and filters, is permitted in any residential zoning district provided:

- A. The swimming pool and incidental installations are located in other than the front yard.
- B. If any pool contains at least four hundred fifty (450) square feet of water surface area or has a depth of thirty-six (36) inches or greater at its shallowest point, the pool shall be enclosed from adjoining lots by the Principal Building, an Accessory Building, a solid wall, or a protective fence of not less than four (4) feet in height. In the alternative, a pool cover shall be provided and shall be installed

whenever the pool is not in use.

- C. The swimming pool shall be set back from all lot lines a distance of not less than five (5) feet.

8.4.5. LIGHTING

Exterior lighting for accessory uses and/or structures shall be placed so as to not direct or reflect light upon adjoining land.

8.4.6. EXEMPTIONS TO ACCESSORY USE AND STRUCTURE REGULATIONS

- A. The following uses/structures shall be exempt from the provisions of this § 8.4:
 1. Fencing and walls;
 2. Mailboxes;
 3. Plant materials;
 4. Any structure or improvement, once installed, is at grade or less than 1 foot above grade.

8.1.7 ACCESSORY SOLAR FACILITIES

- A. **PURPOSES.** The purposes of this section are to:

- g. Meet the goals of the Comprehensive Plan and preserve the health, safety and welfare of the Community's citizens by promoting the safe, effective and efficient use of active solar energy systems.
- h. Encourage the use of local renewable energy resources, including appropriate applications for solar energy.
- i. Promote sustainable building design and management practices in residential, commercial, and industrial buildings to serve the needs of current and future generations.
- j. Assist local businesses to lower financial and regulatory risks and improve their economic, community, and environmental sustainability.
- k. Efficiently invest in and manage public infrastructure systems to support development and growth.
- l. Reduce dependence on nonrenewable energy resources and decrease the air and water pollution that results from the use of conventional energy sources.
- m. Enhance the reliability and power quality of the power grid and make more efficient use of Concord's electric distribution infrastructure.
- n. Diversify the community's energy supply portfolio and exposure to fiscal risks associated with fossil fuels.



Exhibit F







Smart Deck Library

DATE

August 9, 2023

SUBJECT

Certificate of Appropriateness Request:

H-17-23

Applicant:

Chris Harris & Jim Firth

Location of subject property:

359 Union St. S

PIN:

5630-14-5710

Staff Report prepared by:

Autumn C. James, Planning & Development
Manager

BACKGROUND

- The subject property, 359 Union St. S, is designated as a “Contributing” structure in the South Union Street Historic District (Exhibit A).
- “One-story, frame bungalow with distinctive full-façade porch of concrete construction. Porch is upheld by heavy, tapered concrete piers and has concrete retaining wall; it has a broad, half-timbered gable and eaves trimmed with brackets. Porch formerly wrapped around on by of south (right) side of house, but this bay was sympathetically enclosed during the 1940s. House has gable-front roof with gables interrupting the main roofline on both side elevations. The façade gable is somewhat steeper than that of the porch but has the same decorative treatment.” (Exhibit A).

DISCUSSION

On July 10, 2023, Chris Harris & Jim Firth, applied for a Certificate of Appropriateness under Concord Development Ordinance (CDO) §9.8 for addition of a metal roof on the front porch (Exhibit B). The proposed metal roof will be black and either standing seam or ribbed depending on availability.

ATTACHMENTS

Exhibit A: National Register of Historic Places Inventory

Exhibit B: Application for Certificate of Appropriateness

Exhibit C: Subject Property Map

Exhibit D: Applicant Submitted Photographs

HISTORIC HANDBOOK DESIGN RECOMMENDATIONS

Approval Requirement Needs Table: Roofing Material

Roofing repair or replacement with materials currently existing inappropriate to style and period of building or repairs which obscure or change original architectural features or replacement of shingles with a lighter color requires Commission Hearing and Approval.

Chapter 4: Local Standards and General Policies

Alterations: *Alterations having no historical basis shall be avoided whenever possible. Any type of alteration of exterior features of a building, site, or environment within the Historic Districts which is not specifically listed within these regulations shall be referred to the Historic Preservation Commission for action on the issuance of a Certificate of Appropriateness.*

- *All buildings, structures and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.*

- *Changes which may have taken place in the course of time are evidence of the history and development of a building, structure or site and its environment. These changes may have acquired significance in their own right and this significance shall be recognized and respected.*
- *Contemporary design for alterations and additions to existing properties shall be encouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.*
- *New additions or alterations shall be construed in such a manner as to preserve the essential form and integrity of the structure, should the addition or alteration be removed.*

Chapter 5 – Section 7: Roofing

- *Materials are usually consistent over the entire structure, although there are changes in material where there are changes in steepness or shapes. Typical roofing materials used are tin, copper, slate, tiles, wood, and composition shingles.*

Design Guidelines and Recommendations

- *Roof shapes, texture and material should be compatible with new construction as well as with immediate buildings.*
- *Original roof material should be maintained and/or replaced with like roofing if possible.*

RECOMMENDATION

1. The Historic Preservation Commission should consider the circumstances of this application for a Certificate of Appropriateness relative to the North and South Union Street Historic Districts Handbook and act accordingly.
2. If approved, applicant(s) should be informed of the following:
 - City staff and Commission will make periodic on-site visits to ensure the project is completed as approved.
 - Completed project will be photographed to update the historic properties survey.

United States Department of the Interior
National Park Service

National Register of Historic Places
Inventory—Nomination Form

For NPS use only

received

date entered

Continuation sheet

Item number

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Inventory List - South Union Street
Historic District, Concord

#7

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87. House
355 S. Union St.
ca. 1935
C

One-and-a-half story, frame house combining elements of English cottage and Colonial Revival styles. House has steeply pitched side gable roof pierced by steep facade gables flanking the central entrance, a roof configuration typical of the English cottage idiom. Front gables have small, horseshoe-arched windows with shutters near their peaks. Flat-roofed entrance portico upheld by Doric columns and flanked by bays of paired, 6/6 sash windows with shutters. Flat-roofed, enclosed porch on south side of house marred by inappropriate louvered windows.

88. James Dorton House
359 S. Union St.
1921-1927 (SM)
C

One-story, frame bungalow with distinctive full-facade porch of concrete construction. Porch is upheld by heavy, tapered concrete piers and has concrete retaining wall; it has a broad, half-timbered gable and eaves trimmed with brackets. Porch formerly wrapped around one bay of south (right) side of house, but this bay was sympathetically enclosed during the 1940s. House has gable-front roof with gables interrupting the main roofline on both side elevations. The facade gable is somewhat steeper than that of the porch but has the same decorative treatment.

89. Vacant Lot
between 359 and 377 S. Union St.
VL

Large, wooded lot adjoining William A. Ritchie House (inv. #90) and owned by the Ritchie family. This lot has apparently never been developed and contributes to the district as a reminder of the formerly semi-rural character of S. Union St.



AN INCOMPLETE APPLICATION WILL NOT BE PLACED ON THE AGENDA UNTIL ALL OF THE REQUIRED ATTACHMENTS AND/OR ITEMS LISTED ON PAGE 2 ARE SUBMITTED.

APPLICANT INFORMATION

Name: Chris Harris and Jim Firth
Address: 359 Union Street S
City: Concord State: NC Zip Code: 28025 Telephone: 704-507-4155 or 704-650-1269

OWNER INFORMATION

Name: Chris Harris and Jim Firth
Address: 359 Union Street S
City: Concord State: NC Zip Code: 28025 Telephone: 704-507-4155 or 704-650-1269

SUBJECT PROPERTY

Street Address: 359 Union Street S P.I.N. # 56301457100000
Area (acres or square feet): 9,150 Current Zoning: RV Land Use: Residential

**Staff Use
Only:**

Application Received by: _____ Date: _____, 20 _____
Fee: \$20.00 Received by: _____ Date: _____, 20 _____

The application fee is nonrefundable.

General Requirements

The Unified Development Ordinance imposes the following rules, regulations and requirements on requests for Certificates of Appropriateness. The applicant must, with reference to the attached plans, demonstrate how the proposed use satisfies these requirements:

1. Project or Type of Work to be Done: Metal Roof on Front Porch

2. Detailed specifications of the project (type of siding, windows, doors, height/style of fence, color, etc.):
Add Black Metal Roof on Front Porch. Standing Seam or Ribbed depending on availability.

Required Attachments/Submittals

1. Scaled site plan, if additions or accessory structures are proposed, on letter, legal or ledger paper. Larger sized copies will be accepted if **16 folded copies** are submitted for distribution.
2. A photograph of the front of the house.
3. Photographs of site, project, or existing structures from a “before” perspective
4. Drawings, sketches, renderings, elevations, or photographs necessary to present an illustration of the project from an “after” perspective.
5. Samples of windows, doors, brick, siding, etc. must be submitted with application.
6. Detailed list of materials that will be used to complete the project.

Applications may be submitted electronically.

Certification

(1) I hereby acknowledge and say that the information contained herein and herewith is true and that this application shall not be scheduled for official consideration until all of the required contents are submitted in proper form to the City of Concord Development Services Department. (2) I understand that City staff and/or members of the Historic Preservation Commission may make routine visits to the site to insure that work being done is the same as the work that was approved. (3) I understand that photographs of the completed project will be made to update the City’s historic districts inventory database.

7/10/2023
 Date

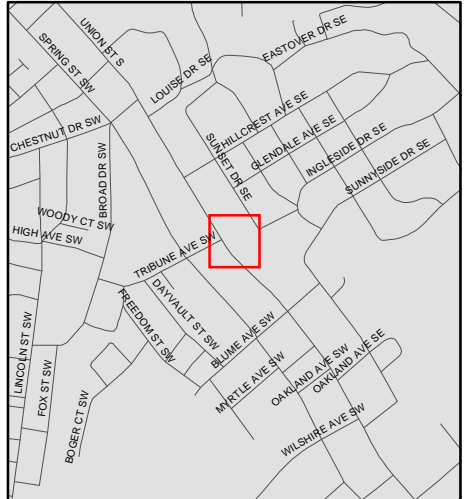
Chris Harris & Jim Frith
 Signature of Owner/Agent



H-17-23

359 Union St S

PIN: 5630-14-5710

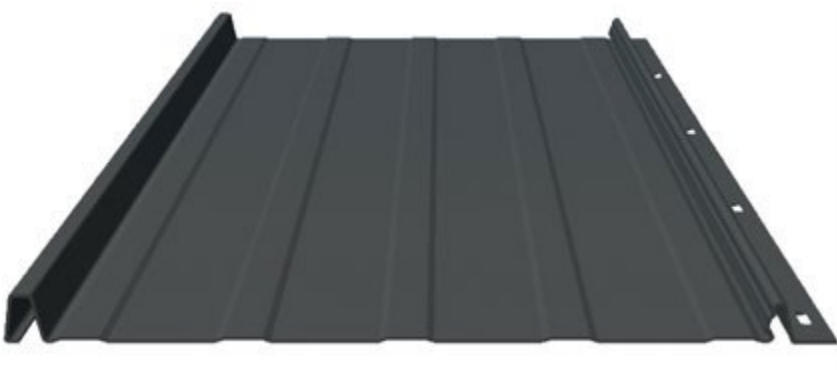


Source: City of Concord
Planning Department

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Examples of Metal Roofing





35



DATE

August 9, 2023

SUBJECT

Certificate of Appropriateness Request:

H-19-23

Applicant:

Karan Bullard Banks

Location of subject property:

438 Union St. S

PIN:

5630-13-9943

Staff Report prepared by:

Autumn C. James, Planning & Development
Manager

BACKGROUND

- The subject property, 438 Union St. S, is designated as a “Contributing” structure in the South Union Street Historic District (Exhibit A).
- “One-and-a-half story, brick bungalow with clipped gable-front roofs on main block and on projecting one-story north (right) facade bay. One-story porch with side gable roof carries across two southern facade bays and shelters one bay of south elevation. Porch has tapered posts on brick bases and a brick balustrade.” (Exhibit A).

DISCUSSION

On July 12, 2023, Karan Bullard Banks, applied for a Certificate of Appropriateness under Concord Development Ordinance (CDO) §9.8 for the installation of a retaining wall along the driveway (Exhibit B).

The proposed natural stone retaining wall would be placed at the upper end of the driveway (56’ x 4’) and along the front slope of Union Street (29’ x 2’ and 46’ x 2’). The existing concrete driveway would be removed and replaced with pervious pavers. Pervious pavers would also be used to fill in the dirt areas of the driveway.

ATTACHMENTS

Exhibit A: National Register of Historic Places Inventory

Exhibit B: Application for Certificate of Appropriateness

Exhibit C: Subject Property Map

Exhibit D: Sketch Plan

Exhibit E: Applicant Submitted Photographs

Exhibit F: Applicant Submitted Examples

HISTORIC HANDBOOK DESIGN RECOMMENDATIONS

Approval Requirement Needs Table: Fencing and Gates; Masonry Walls

All types of fencing and gates, and all walls in public view over 18 inches in height requires Commission Hearing and Approval.

Approval Requirement Needs Table: Patios, Walks, and Driveways

All new patios, walks, and driveways require Commission Hearing and Approval.

Chapter 5 – Section 9: Fences and Walls

- *Where walls are concerned, natural stone or brick-masonry walls are encouraged and should not be coated or painted. The type and color of stone and masonry should respond to the historic nature of the property.*

Design Guidelines and Recommendations

- *Use materials such as natural stone, brick, wood, powder coated aluminum and iron.*
- *Materials and style should coordinate with building and neighboring buildings as well as other walls and fences in the area.*

Chapter 5 – Section 10: Driveways, Walkways, and Parking

- *Gravel and pavement are acceptable materials for driveways, as are some alternative materials such as cobblestone, brick, and pervious pavers.*

Design Guidelines and Recommendations

- *Parking areas should not be the focal point of the property, and should be located in such a manner as to minimize their visibility from the street.*

RECOMMENDATION

1. The Historic Preservation Commission should consider the circumstances of this application for a Certificate of Appropriateness relative to the North and South Union Street Historic Districts Handbook and act accordingly.
2. If approved, applicant(s) should be informed of the following:
 - City staff and Commission will make periodic on-site visits to ensure the project is completed as approved.
 - Completed project will be photographed to update the historic properties survey.

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
Inventory—Nomination Form**

For NPS use only
received
date entered

Continuation sheet	Item number	Page
<u>Inventory List - South Union Street Historic District, Concord</u>	#7	9

upheld by square-in-section brick piers with brick balustrade and concrete trim. Small gable-roofed dormer over north (right) facade bay. Porch and house have broad eaves trimmed with curved brackets.

4. House
438 S. Union St.
ca. 1930
C

One-and-a-half story, brick bungalow with clipped gable-front roofs on main block and on projecting one-story north (right) facade bay. One-story porch with side gable roof carries across two southern facade bays and shelters one bay of south elevation. Porch has tapered posts on brick bases and a brick balustrade.

5. House
430 S. Union St.
by 1921 (SM)
C

One-and-a-half story, frame house with triple-A roofline that may date from the early 1900s but which took on its present form during the 1920s. Bungalow style features that indicate a 1920s remodeling include broad eaves trimmed with simple brackets on the house and tapered wood columns and exposed rafters on the porch. The porch, which has a balustrade running between the columns, carries across the full facade and shelters one bay of south (left) elevation. The house stands on a raised foundation, as do several other houses on this block.

6. House
422 S. Union St.
by 1921 (SM)
C

Well-preserved, two-story, frame, Colonial Revival style residence with high hip roof. Symmetrical, three-bay facade with centrally placed hip-roofed dormer over the second story. Wrap-around porch upheld by chamfered and molded columns; a balustrade runs between these supports and there is a decorative gable over the entrance. Large, single-pane windows with transoms of leaded glass flank the entrance; the sidelights and transoms of the entrance have similar leaded glass. Two-story slanted bay on north (right) elevation. An unusual feature of this house is its complement of 4/4 sash windows, which are rarely seen on Colonial Revival style residences. Shallow raised foundation.

AN INCOMPLETE APPLICATION WILL NOT BE PLACED ON THE AGENDA UNTIL ALL OF THE REQUIRED ATTACHMENTS AND/OR ITEMS LISTED ON PAGE 2 ARE SUBMITTED.

APPLICANT INFORMATION

Name: Karan Bullard Banks
Address: 438 Union Street South
City: Concord State: NC Zip Code: 28025 Telephone: 704-957-6639

OWNER INFORMATION

Name: Karan Bullard Banks
Address: 438 Union Street South
City: Concord State: NC Zip Code: 28025 Telephone: 704-957-6639

SUBJECT PROPERTY

Street Address: 438 Union Street South P.I.N. # _____
Area (acres or square feet): _____ Current Zoning: _____ Land Use: _____

**Staff Use
Only:**

Application Received by: _____ Date: _____, 20 _____
Fee: \$20.00 Received by: _____ Date: _____, 20 _____

The application fee is nonrefundable.

General Requirements

The Unified Development Ordinance imposes the following rules, regulations and requirements on requests for Certificates of Appropriateness. The applicant must, with reference to the attached plans, demonstrate how the proposed use satisfies these requirements:

1. Project or Type of Work to be Done: Installation of retaining wall at upper end of driveway and along front slope of Union Street.

2. Detailed specifications of the project (type of siding, windows, doors, height/style of fence, color, etc.):

Installation of natural stone retaining wall at upper end of driveway (56' x 4') and along front slope of Union Street at (29' x 2') and (46' x 2')

Remove existing concrete driveway and replace with pervious pavers. Use pervious pavers to fill in dirt areas of driveway.

Install natural stone retaining wall

Required Attachments/Submittals

1. Scaled site plan, if additions or accessory structures are proposed, on letter, legal or ledger paper. Larger sized copies will be accepted. **Digital copies are preferred.**
2. Detailed written description of the project.
3. Photographs of site, project, or existing structures from a "before" perspective.
4. Drawings, sketches, renderings, elevations, or photographs necessary to present an illustration of the project from an "after" perspective if applicable.
5. Samples of windows, doors, brick, siding, etc. must be submitted with application.
6. Detailed list of materials that will be used to complete the project.

Certification

(1) I hereby acknowledge and say that the information contained herein and herewith is true and that this application shall not be scheduled for official consideration until all of the required contents are submitted in proper form to the City of Concord Development Services Department. (2) I understand that City staff and/or members of the Historic Preservation Commission may make routine visits to the site to insure that work being done is the same as the work that was approved. (3) I understand that photographs of the completed project will be made to update the City's historic districts inventory database.

July 12, 2023

Date

Karum Bullard Banks

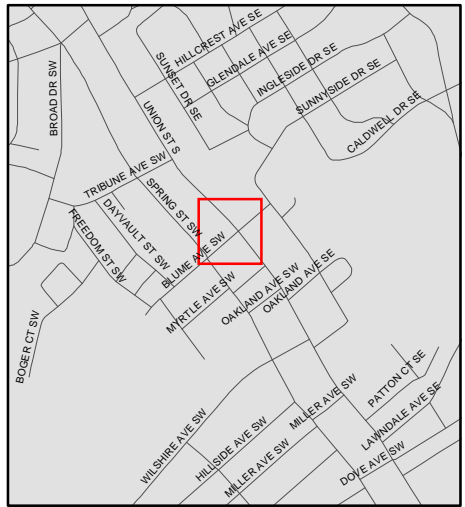
Signature of Owner/Agent



H-19-23

428 Union St S

PIN: 5630-13-9943



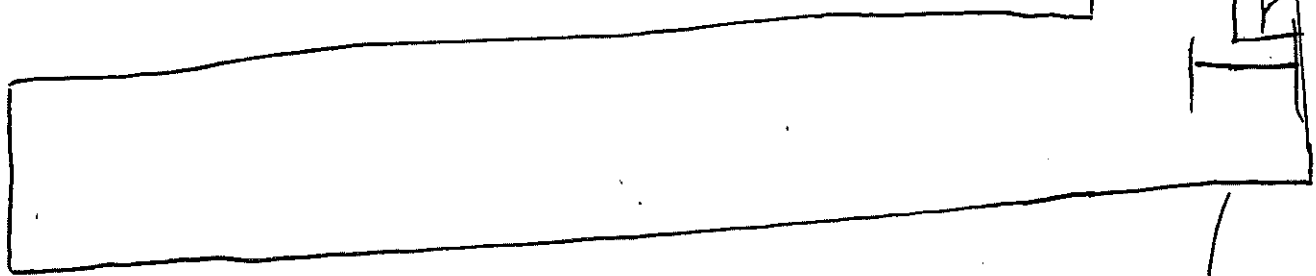
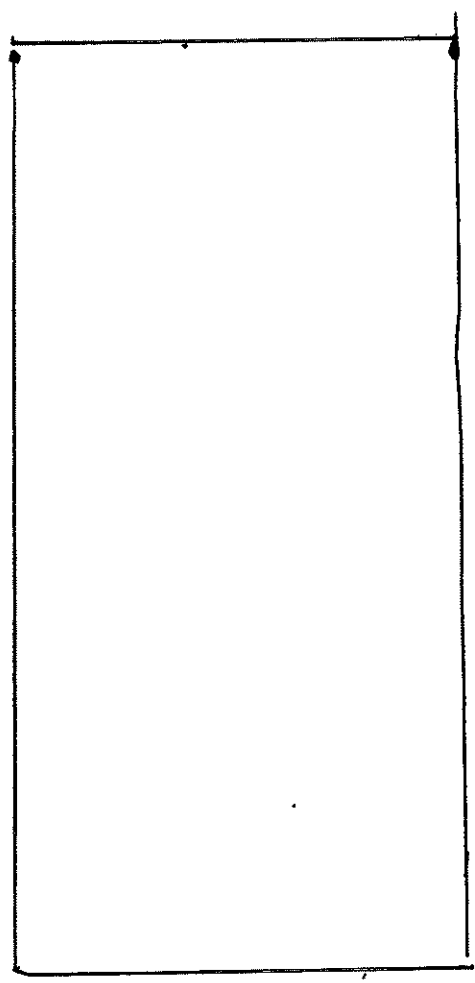
Source: City of Concord
Planning Department

Disclaimer

These maps and products are designed for general reference only and data contained herein is subject to change. The City Of Concord, it's employees or agents make no warranty of merchantability or fitness for any purpose, expressed or implied, and assume no legal responsibility for the information contained therein. Data used is from multiple sources with various scales and accuracy. Additional research such as field surveys may be necessary to determine actual conditions.

Highest
Bullard - Banks

56 ft
x 3 ft

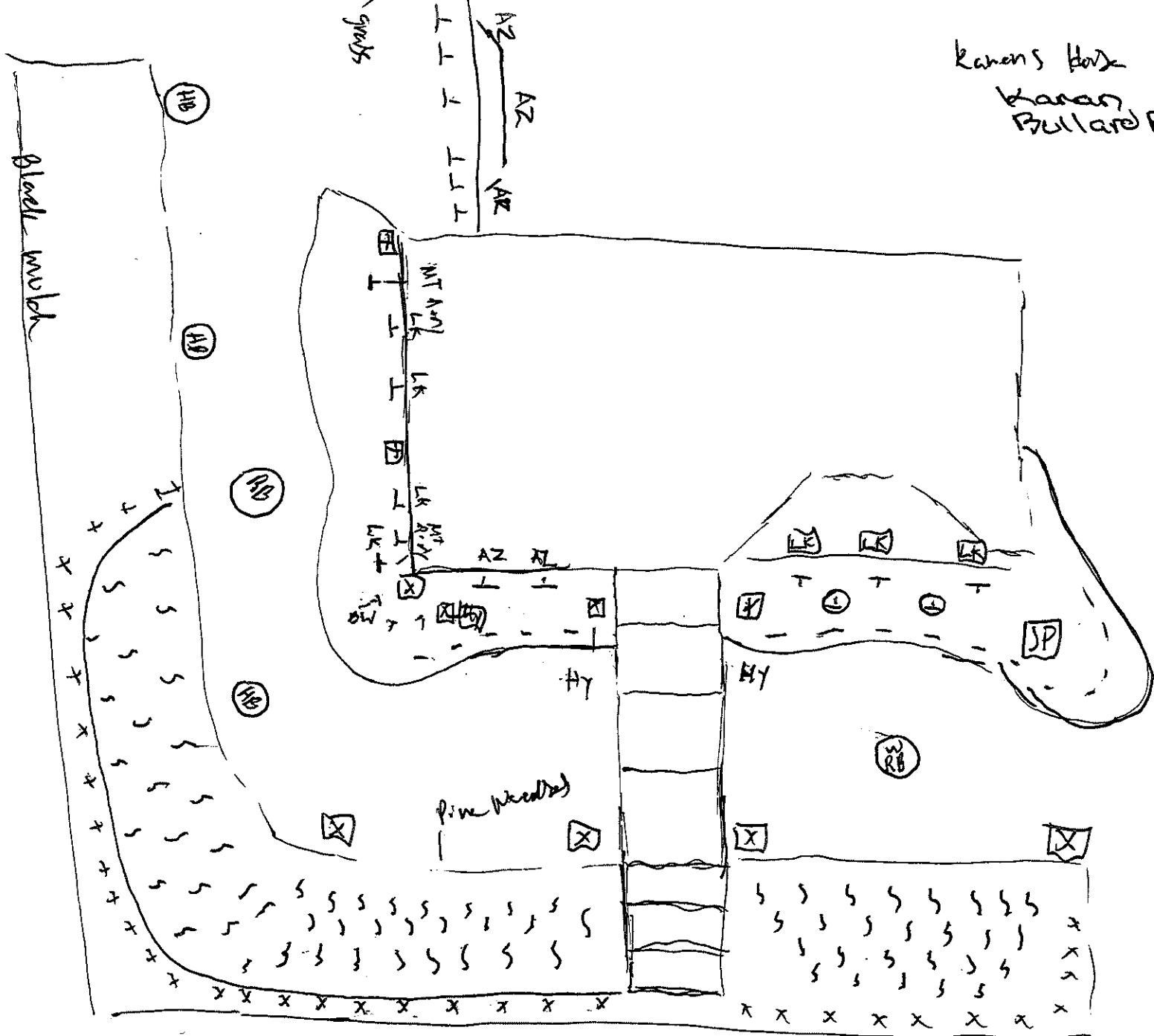


Play Stone
Stack Stone

27 ft x 2 ft


34 ft x 2 ft

Kanans Horse
Kanans
Bullard Banks



Black mitch


2 MT Airy


8  grasses

3 Hornbeam

3 Box woods


2 Likens

60  Linopse


 weeping Red bud

3 Hydrangeas

2 Red buds

2  berry bushes

8 azaleas

 ~~MT~~
70 Dark Likens

 Japanese maple



Current Concrete Driveway



Front Slope of Union Street
Wall Location



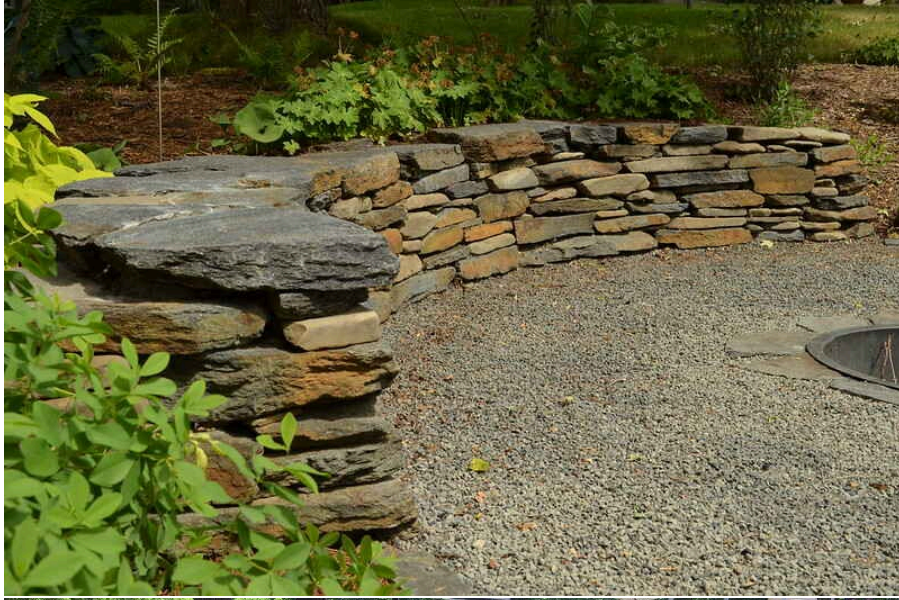
Upper End of Driveway
Wall Location



Replace Dirt Driveway with Pavers



Replace Pavers with Pavers



Examples of Retaining Walls